

SHEET LIST TABLE		
SHEET NO.	DRAWING NO.	SHEET TITLE
1	C1.1	LOCATION PLAN
2	C2.1	EXISTING CONDITION PLAN (1 OF 2)
3	C2.2	EXISTING CONDITION PLAN (2 OF 2)
4	C3.1	DEMOLITION PLAN
5	C4.1	GRADING & DRAINAGE PLAN (1 OF 2)
6	C4.2	GRADING & DRAINAGE PLAN (2 OF 2)
7	C5.1	UTILITY PLAN (1 OF 2)
8	C5.2	UTILITY PLAN (2 OF 2)
9	C6.1	SURVEY & LAYOUT PLAN
10	C7.1	PHOTOMETRIC PLAN
11	C8.1	SITE DETAILS PLAN (1 OF 4)
12	C8.2	SITE DETAILS PLAN (2 OF 4)
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14	C8.4	SITE DETAILS PLAN (4 OF 4)
15	S1.0	CROSS SECTIONS – PLAN VIEW
16	S1.1	CROSS SECTIONS

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5	C4.1	GRADING & DRAINAGE PLAN (1 OF 2)
6	C4.2	GRADING & DRAINAGE PLAN (2 OF 2)
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13	C8.3	SITE DETAILS PLAN (3 OF 4)
14	C8.4	SITE DETAILS PLAN (4 OF 4)
15	S1.0	CROSS SECTIONS – PLAN VIEW
16	S1.1	CROSS SECTIONS

ZONE: SINGLE RESIDENCE (SR)		
	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	12,000 ft ²	163,363 ft ²
MAXIMUM DENSITY	--	--
FRONTAGE & WIDTH	100	506.93/153.51 ft.
FLOOR AREA RATIO	--	--
MINIMUM FRONT SETBACK	20 ft.	2.8 ft.
MINIMUM SIDE SETBACK	15 ft.	6.6 ft. ¹
MINIMUM REAR SETBACK	25 ft.	5.4 ft. ¹
MAXIMUM NUMBER OF STORIES	2.5	5 living/1 garage
MAXIMUM HEIGHT	35 ft.	58 ft.
MAXIMUM BUILDING COVERAGE	30%	30.8%
MINIMUM OPEN AREA	40%	34.8%
DISTANCE BETWEEN BUILDINGS	-- ²	9.3 ft.

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FLOOR AREA RATIO	--	--
MINIMUM FRONT SETBACK	20 ft.	2.8 ft.
MINIMUM SIDE SETBACK	15 ft.	6.6 ft. ¹
MINIMUM REAR SETBACK	25 ft.	5.4 ft. ¹
MAXIMUM NUMBER OF STORIES	2.5	5 living/1 garage
MAXIMUM HEIGHT	35 ft.	58 ft.
MAXIMUM BUILDING COVERAGE	30%	30.8%
MINIMUM OPEN AREA	40%	34.8%
DISTANCE BETWEEN BUILDINGS	-- ²	9.3 ft.

ZONING TABLE NOTES:

1. SUBJECT TO INTERPRETATION FROM BUILDING INSPECTOR.
2. THERE IS A MINIMUM BUILDING SEPARATION BETWEEN BUILDINGS ON THE SAME LOT IN THE SR AND SSR ZONING DISTRICTS. ADDITIONALLY, ALL DWELLINGS AND ACCESSORY STRUCTURES, OTHER THAN FENCES, TO BE CONSTRUCTED ON A LOT IN THE SR AND SSR ZONING DISTRICTS MUST MAINTAIN A MINIMUM SEPARATION DISTANCE OF 20 FEET FROM ANY DWELLING ON AN ADJACENT BUILDING. THIS REGULATION SHALL NOT PERMIT THE REDUCTION OF ANY SETBACK REQUIREMENTS BUT MAY INCREASE THOSE REQUIREMENTS.

MULTIFAMILY DWELLINGS		
	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	4,000 ft ²	163,363 ft ²
FRONTAGE & WIDTH	180	506.93/153.51 ft.
MINIMUM FRONT SETBACK	30 ft. ¹	2.8 ft.
MINIMUM SIDE SETBACK	30 ft. ¹	6.6 ft. ¹
MINIMUM REAR SETBACK	30 ft. ¹	5.4 ft. ¹
MAXIMUM NUMBER OF STORIES	5	5 living/1 garage
MAXIMUM HEIGHT	50 ft.	58 ft.
MAXIMUM LOT COVERAGE	35%	65.2%
MINIMUM OPEN AREA	30%	34.8%
DISTANCE BETWEEN UNATTACHED BUILDINGS	50 ²	9.3 ft.

MULTIFAMILY DWELLINGS		
	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	4,000 ft ²	163,363 ft ²
FRONTAGE & WIDTH	180	506.93/153.51 ft.
MINIMUM FRONT SETBACK	30 ft. ¹	2.8 ft.
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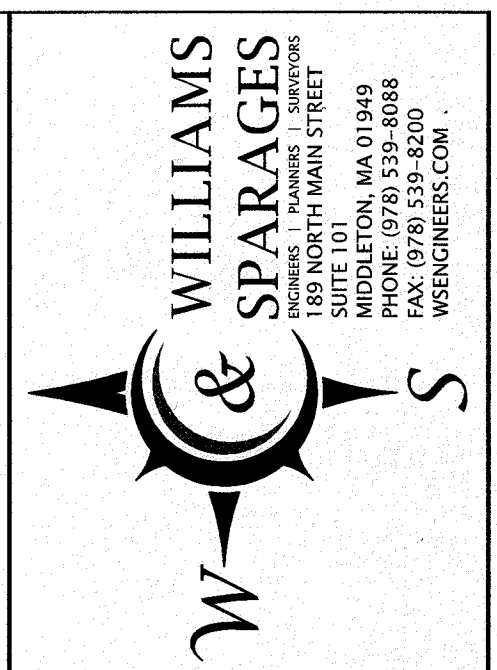
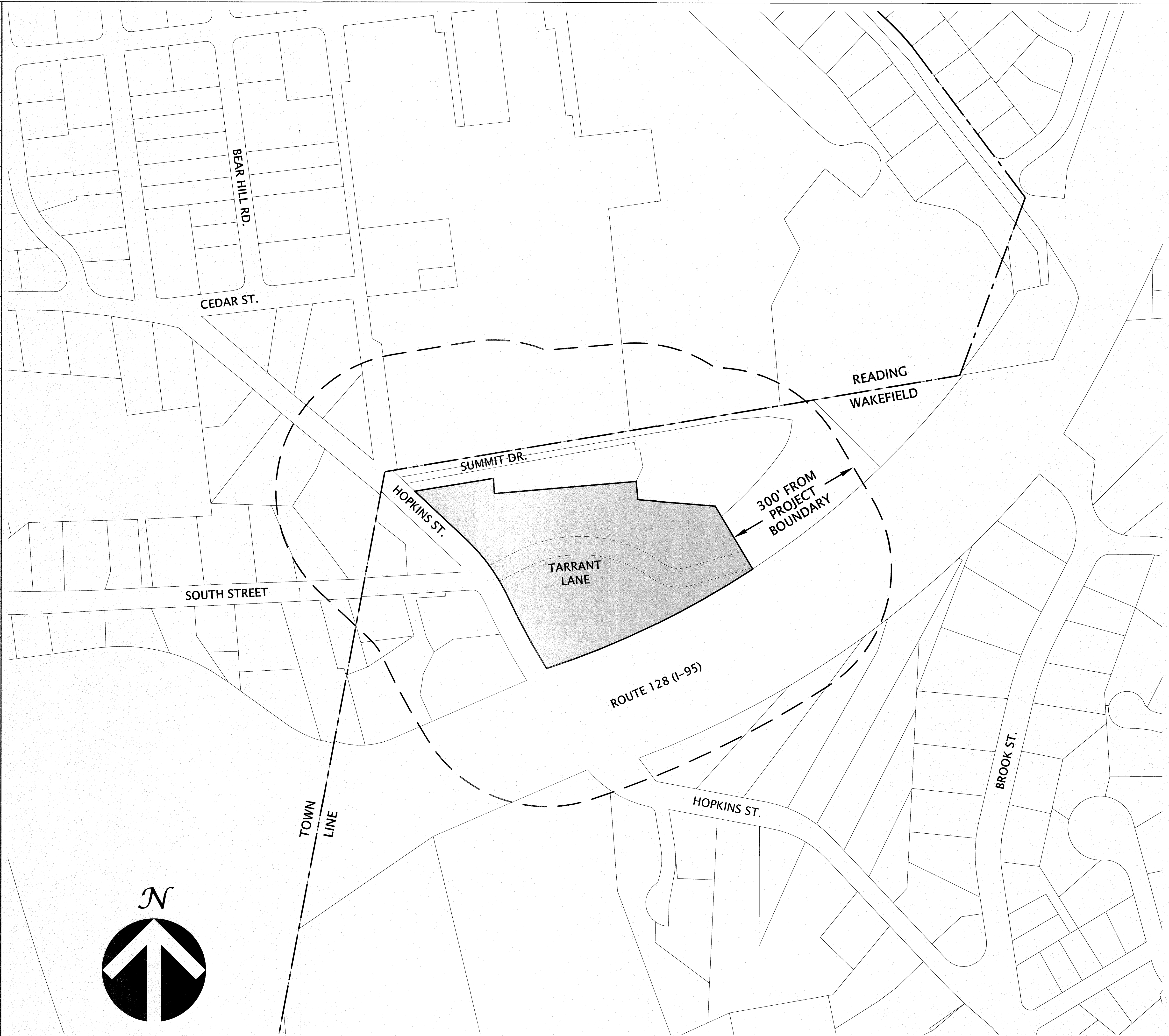
ZONING TABLE NOTES:
1. OR HEIGHT OF BUILDING, WHICHEVER IS GREATER.
2. OR HEIGHT OF TALLER BUILDING, WHICHEVER IS GREATER.

1. EXISTING TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC CONDUCTED IN OCTOBER OF 2017. ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ABUTTING PROPERTIES FROM DAMAGE IN RELATION TO ALL PROPOSED SITE WORK.

BOOK 70330 PAGE 401

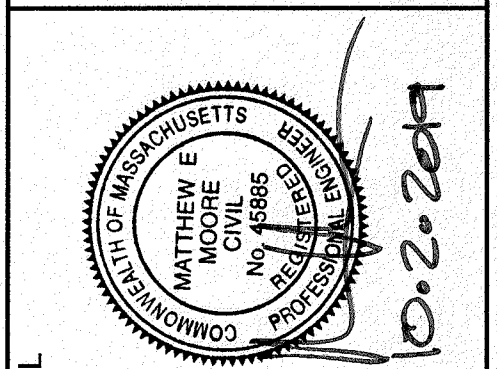
PLAN OF LAND IN WAKEFIELD, MASS. DATED OCTOBER
12, 2017 AND RECORDED AT THE MIDDLESEX SOUTH
REGISTRY OF DEEDS AS PLAN NO. 1093 OF 2017.

MAP 4 BLOCK 073 LOT 2A2C



Owner: DB5 Development Group, LLC 9 Wildwood Road Middleton, MA 01949	Applicant: DB5 Development Group, LLC 9 Wildwood Road Middleton, MA 01949
--	--

Designed By: MEM	☐	Drawing Issued for Review Only
Drawn By: MEM	☒	Drawing Issued for Permit
Reviewed By: CPS	☐	Drawing Issued for Construction
Project Manager: CPS		
Job File Number: WAKE-0048		
Drawing File Folder: WAKE48		



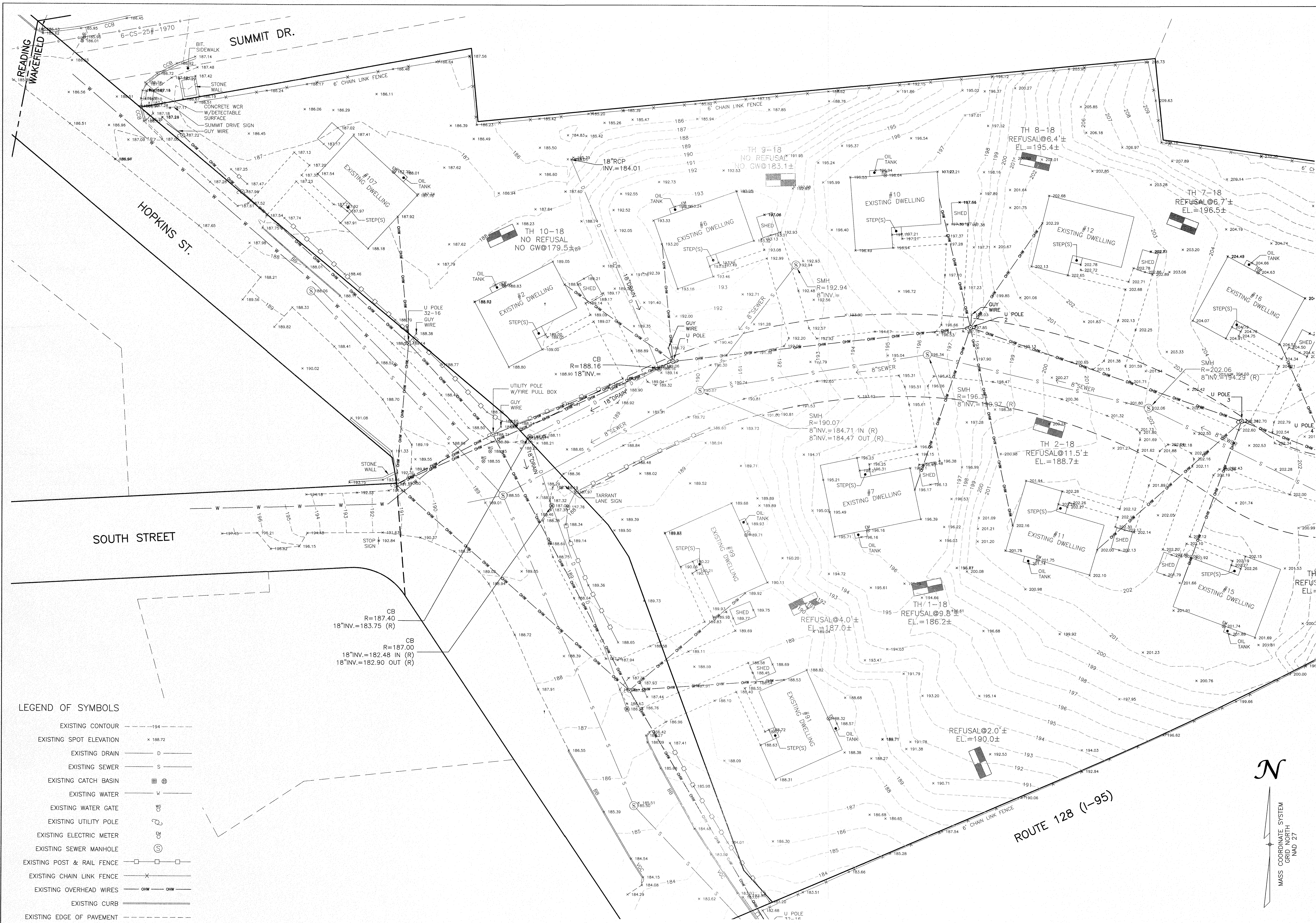
SEAL

LOCATION PLAN
TARRANT LANE APARTMENTS

0 TARRANT LANE, WAKEFIELD, MA

DRAWING: C1.1	0'	50'	100'	200'	6	Curbing	10/2/2019
					5	Miscellaneous	9/5/2019
					4	Town Comments	7/5/2019
					3	Town Comments	6/27/2019
					2	Town Comments	6/4/2019
SHEET 1 OF 16	SEPTEMBER 14, 2018				1	Town Comments	4/8/2019

SHEET 1 OF 16



- LEGEND OF SYMBOLS
- EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING DRAIN
 - EXISTING SEWER
 - EXISTING CATCH BASIN
 - EXISTING WATER
 - EXISTING WATER GATE
 - EXISTING UTILITY POLE
 - EXISTING ELECTRIC METER
 - EXISTING SEWER MANHOLE
 - EXISTING POST & RAIL FENCE
 - EXISTING CHAIN LINK FENCE
 - EXISTING OVERHEAD WIRES
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT

WILLIAMS & SPARAGES

REGISTERED PROFESSIONAL ENGINEERS
100 MAIN STREET
SUITE 101
MIDDLETON, MA 01949
PHONE (978) 939-8200
FAX (978) 939-8200
WWW.WSENGINEERS.COM

Owner: DBS Development Group, LLC
9 Wildwood Road
Middletown, MA 01949

Applicant: DBS Development Group, LLC
9 Wildwood Road
Middletown, MA 01949

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48

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☐ Drawing Issued for Construction

SEAL

MATTHEW L. MOORE
REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
NO. 10188
EXPIRATION DATE 12/31/2024

10-2-2019

EXISTING CONDITION PLAN (1 OF 2)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

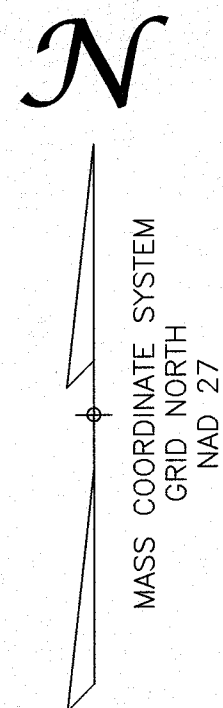
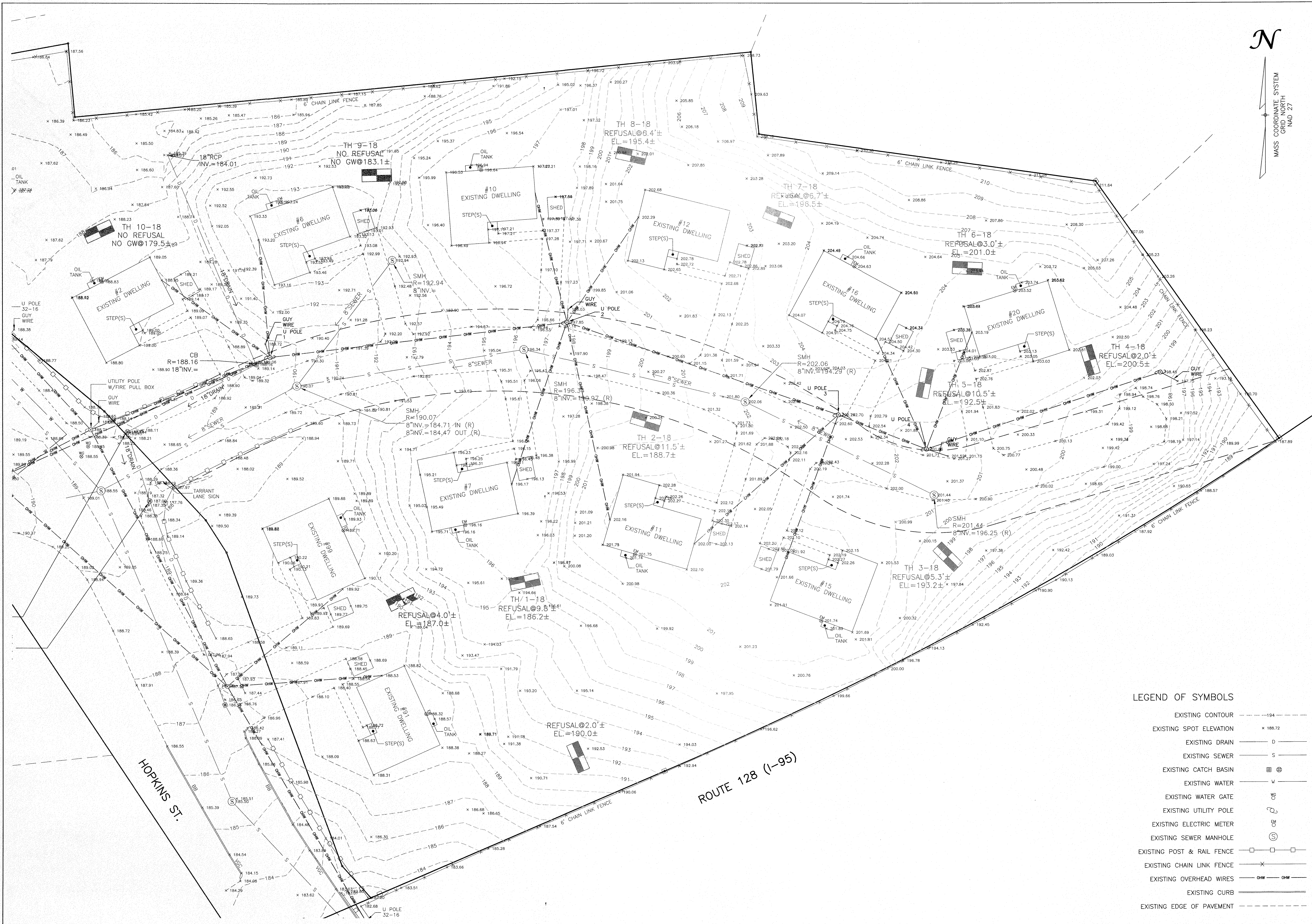
	10/2/2019	9/17/2019	7/17/2019	6/27/2019	6/4/2019	4/9/2019
Curb	6	5	4	3	2	1
Miscellaneous						
Town Comments						
Town Comments						
Town Comments						

DRAWING: C2.1

SHEET 2 OF 16

SEPTEMBER 14, 2018

P:\WAKE\0048Tarrant Lane\Drawings\0048-01.dwg, 10/2/2018 5:15:53 AM, MEM



LEGEND OF SYMBOLS

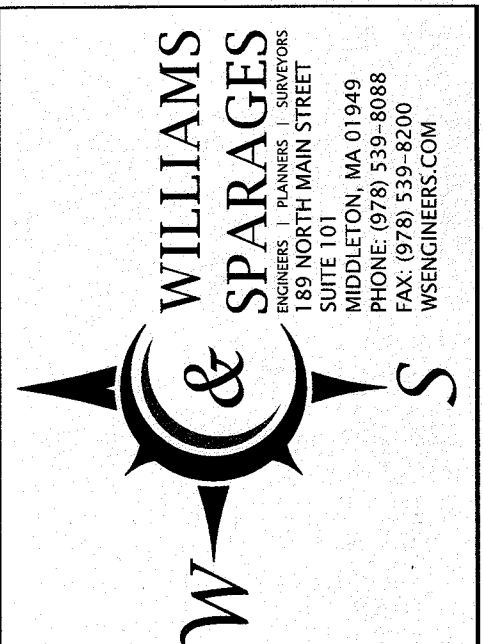
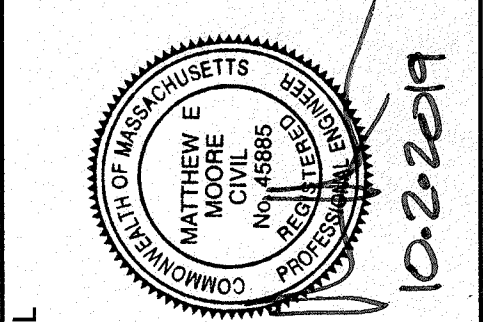
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- EXISTING SPOT ELEVATION x 188.72
- EXISTING DRAIN ---D---
- EXISTING SEWER ---S---
- EXISTING CATCH BASIN [Symbol]
- EXISTING WATER [Symbol]
- EXISTING WATER GATE [Symbol]
- EXISTING UTILITY POLE [Symbol]
- EXISTING ELECTRIC METER [Symbol]
- EXISTING SEWER MANHOLE [Symbol]
- EXISTING POST & RAIL FENCE [Symbol]
- EXISTING CHAIN LINK FENCE [Symbol]
- EXISTING OVERHEAD WIRES [Symbol]
- EXISTING CURB [Symbol]
- EXISTING EDGE OF PAVEMENT [Symbol]

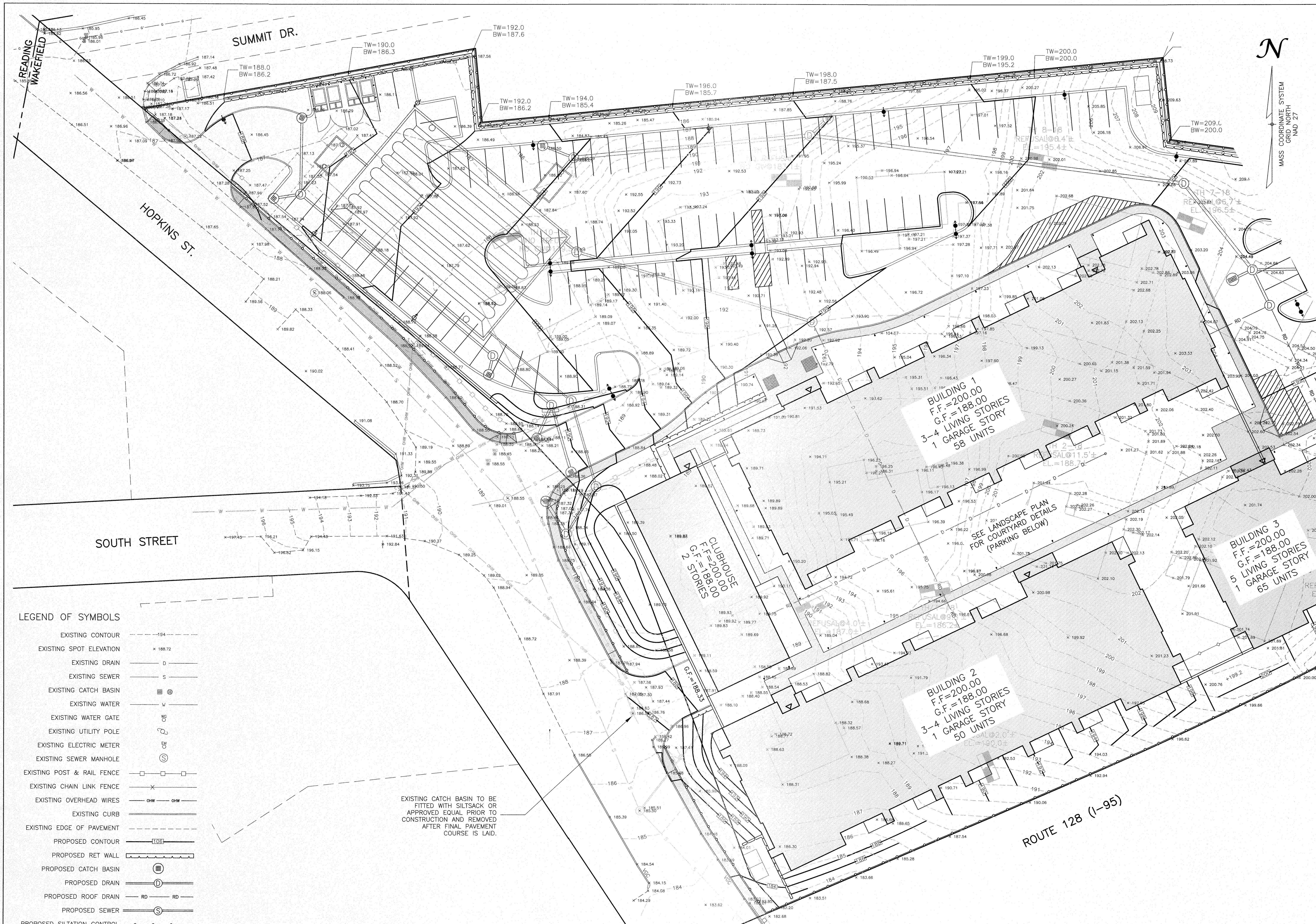
EXISTING CONDITION PLAN (2 OF 2)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

DRAWING: C2.2	Curbing	10/2/2019
	Miscellaneous	9/15/2019
	Town Comments	7/15/2019
	Town Comments	6/27/2019
	Town Comments	6/4/2019
SHEET 3 OF 16	Town Comments	4/8/2019

SEPTEMBER 14, 2018

Owner: DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949
Applicant: DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949
Designed By: MEM
Drawn By: MEM
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48
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LEGEND OF SYMBOLS

EXISTING CONTOUR	---
EXISTING SPOT ELEVATION	x 188.72
EXISTING DRAIN	D
EXISTING SEWER	S
EXISTING CATCH BASIN	⊕
EXISTING WATER	W
EXISTING WATER GATE	⊕
EXISTING UTILITY POLE	⊕
EXISTING ELECTRIC METER	⊕
EXISTING SEWER MANHOLE	⊕
EXISTING POST & RAIL FENCE	—□—□—□—
EXISTING CHAIN LINK FENCE	—X—X—X—X—
EXISTING OVERHEAD WIRES	—OHW—OHW—OHW—
EXISTING CURB	—
EXISTING EDGE OF PAVEMENT	---
PROPOSED CONTOUR	---
PROPOSED RET WALL	---
PROPOSED CATCH BASIN	⊕
PROPOSED DRAIN	D
PROPOSED ROOF DRAIN	RD
PROPOSED SEWER	S
PROPOSED SILTATION CONTROL	—○—○—○—

EXISTING CATCH BASIN TO BE
FITTED WITH SILTSACK OR
APPROVED EQUAL PRIOR TO
CONSTRUCTION AND REMOVED
AFTER FINAL PAVEMENT
COURSE IS LAID.

BUILDING 2
F.F.=200.00
G.F.=188.00
3-4 LIVING STORIES
1 GARAGE STORY
50 UNITS

BUILDING 1
F.F.=200.00
G.F.=188.00
3-4 LIVING STORIES
1 GARAGE STORY
58 UNITS

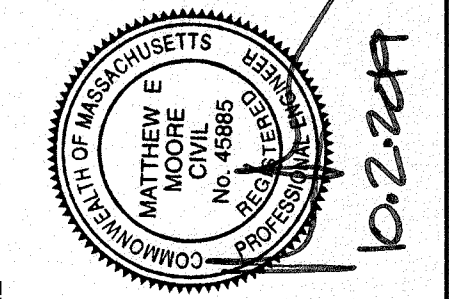
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F.F.=200.00
G.F.=188.00
5 LIVING STORIES
1 GARAGE STORY
65 UNITS

CLUBHOUSE
F.F.=200.00
G.F.=188.00
2 STORIES

GRADING & DRAINAGE PLAN (1 OF 2)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

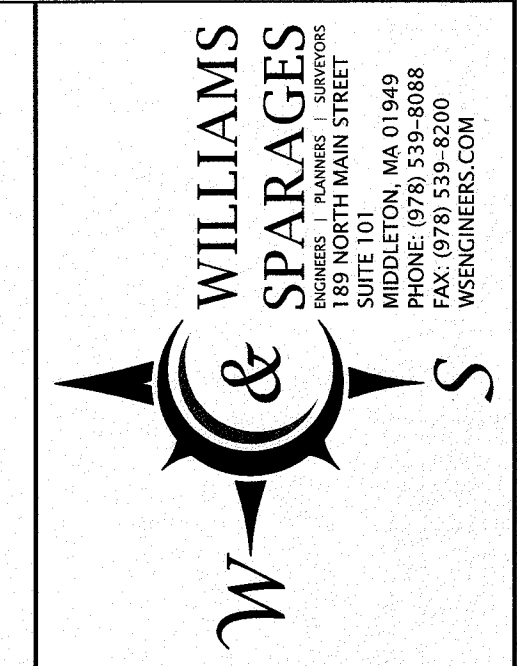
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SHEET 5 OF 16	9/5/2019	5	SCALE: 1"=20'
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	6/27/2019	3	
	6/4/2019	2	
	4/8/2019	1	

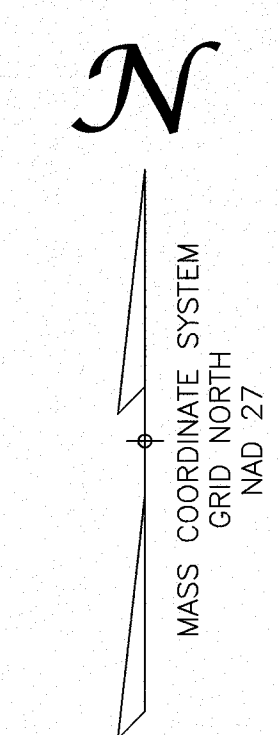
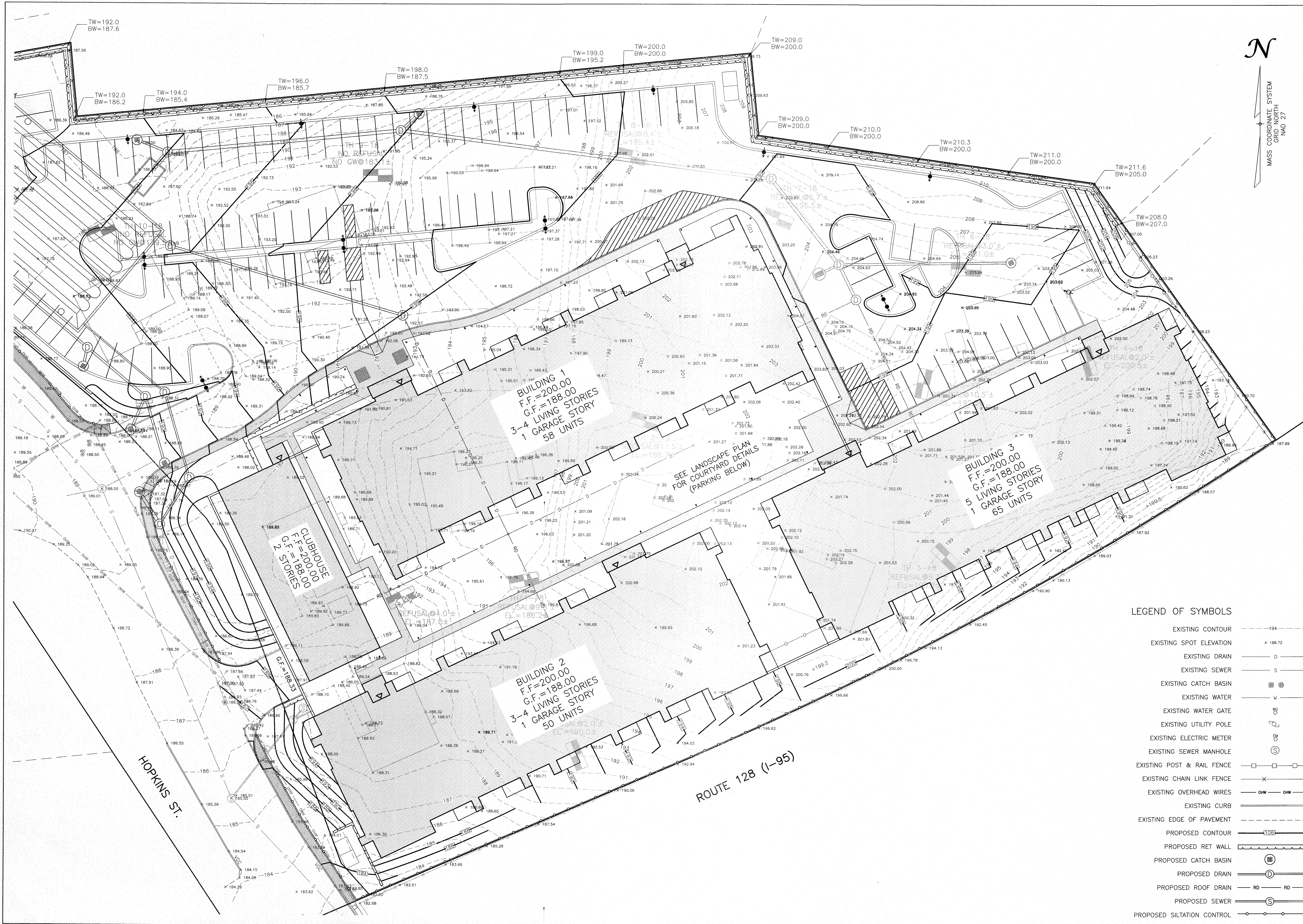
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Project Manager: CPS
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Owner:
DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949
Applicant:
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9 Wildwood Road
Middleton, MA 01949





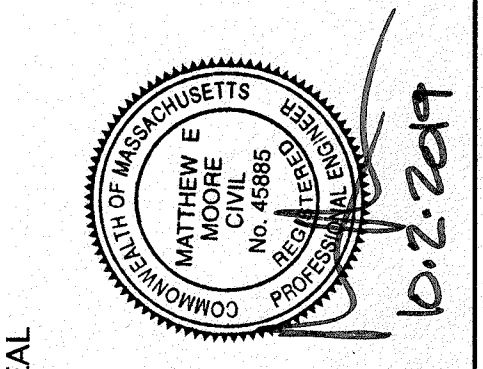
LEGEND OF SYMBOLS

- EXISTING CONTOUR ---194---
- EXISTING SPOT ELEVATION x 188.72
- EXISTING DRAIN ---D---
- EXISTING SEWER ---S---
- EXISTING CATCH BASIN [Symbol]
- EXISTING WATER ---W---
- EXISTING WATER GATE [Symbol]
- EXISTING UTILITY POLE [Symbol]
- EXISTING ELECTRIC METER [Symbol]
- EXISTING SEWER MANHOLE [Symbol]
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- EXISTING OVERHEAD WIRES [Symbol]
- EXISTING CURB [Symbol]
- EXISTING EDGE OF PAVEMENT [Symbol]
- PROPOSED CONTOUR [Symbol]
- PROPOSED RET WALL [Symbol]
- PROPOSED CATCH BASIN [Symbol]
- PROPOSED DRAIN [Symbol]
- PROPOSED ROOF DRAIN [Symbol]
- PROPOSED SEWER [Symbol]
- PROPOSED SILTATION CONTROL [Symbol]

GRADING & DRAINAGE PLAN (2 OF 2)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

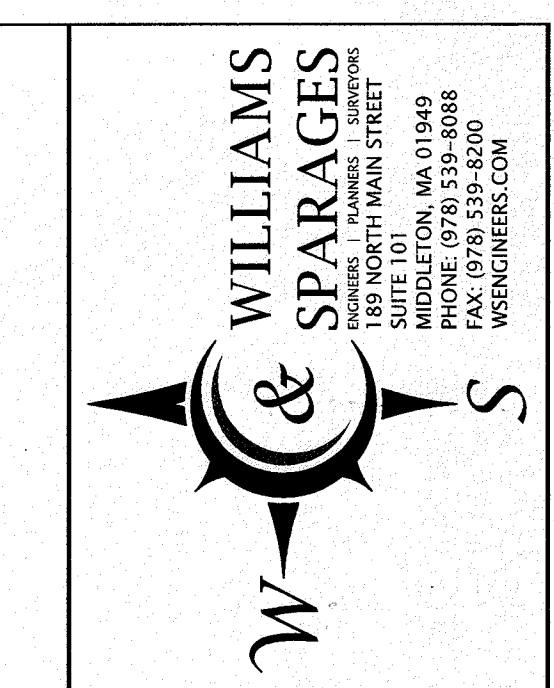
DRAWING: C4.2	 SCALE: 1"=20'	0 TARRANT LANE, WAKEFIELD, MA			
		0'	10'	20'	
		40'	6	Curbing	10/2/2019
		5	Miscellaneous	9/5/2019	
		4	Town Comments	7/5/2019	
SHEET 6 OF 16		3	Town Comments	6/27/2019	
		2	Town Comments	6/4/2019	
		1	Town Comments	4/8/2019	

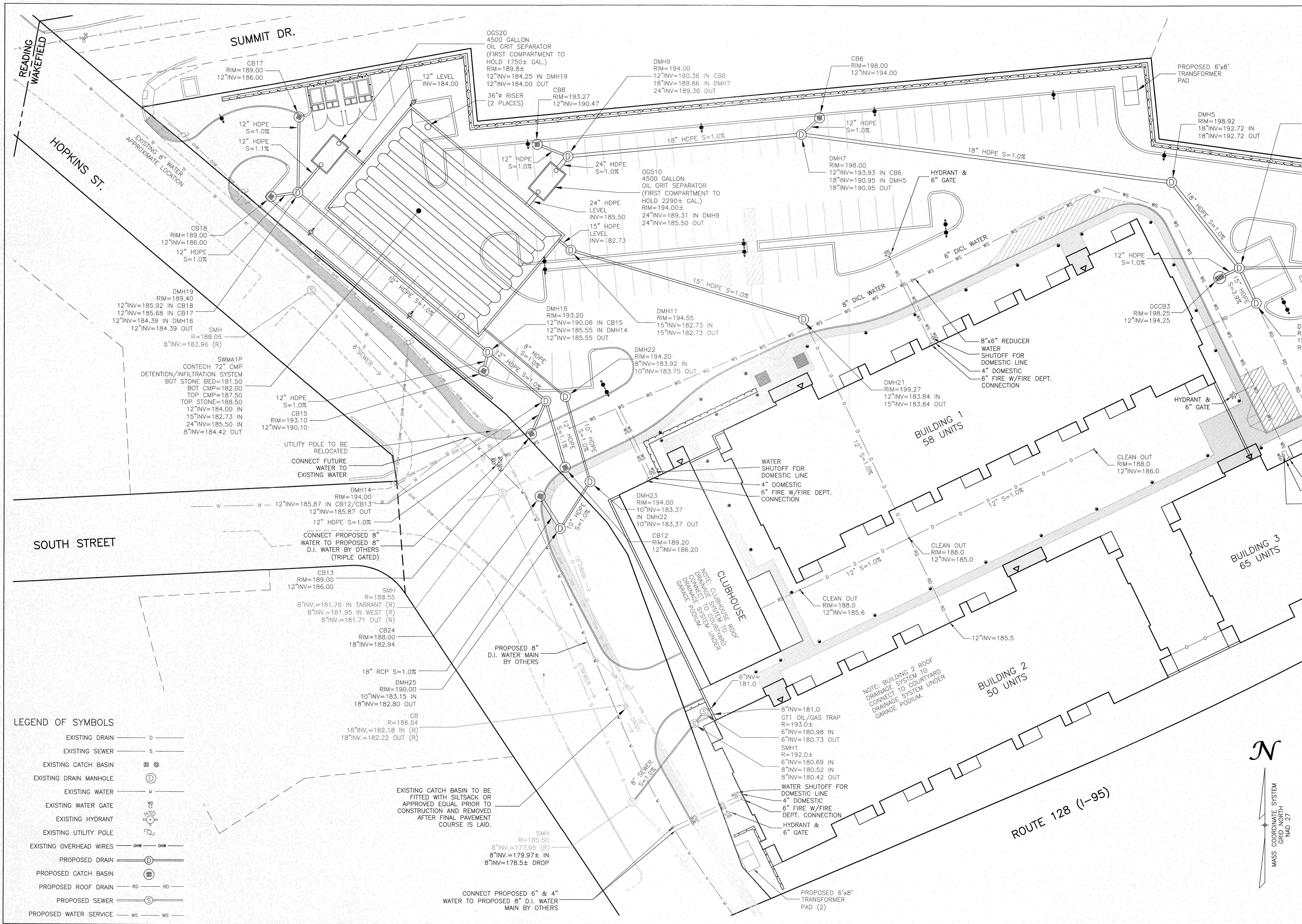
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Owner: DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949
Applicant: DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949





LEGEND OF SYMBOLS

EXISTING DRAIN	D
EXISTING SEWER	S
EXISTING CATCH BASIN	⊕
EXISTING DRAIN MANHOLE	⊙
EXISTING WATER	W
EXISTING WATER GATE	⊕
EXISTING HYDRANT	⊙
EXISTING UTILITY POLE	⊕
EXISTING OVERHEAD WIRES	OW
PROPOSED DRAIN	D
PROPOSED CATCH BASIN	⊕
PROPOSED ROOF DRAIN	RD
PROPOSED SEWER	S
PROPOSED WATER SERVICE	WS

WILLIAMS & SPARAGES
ENGINEERS, ARCHITECTS, PLANNERS, L.L.C.
101 MAIN STREET
MIDDLETON, MA 01949
PHONE: (978) 339-6088
WWW.WSENGINEERS.COM

Owner: DBS Development Group, LLC
9 Wildwood Road
Middletown, MA 01949

Applicant: DBS Development Group, LLC
9 Wildwood Road
Middletown, MA 01949

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48

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COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
MATTHEW E. MOORE
No. 10153
Exp. 12/31/2024

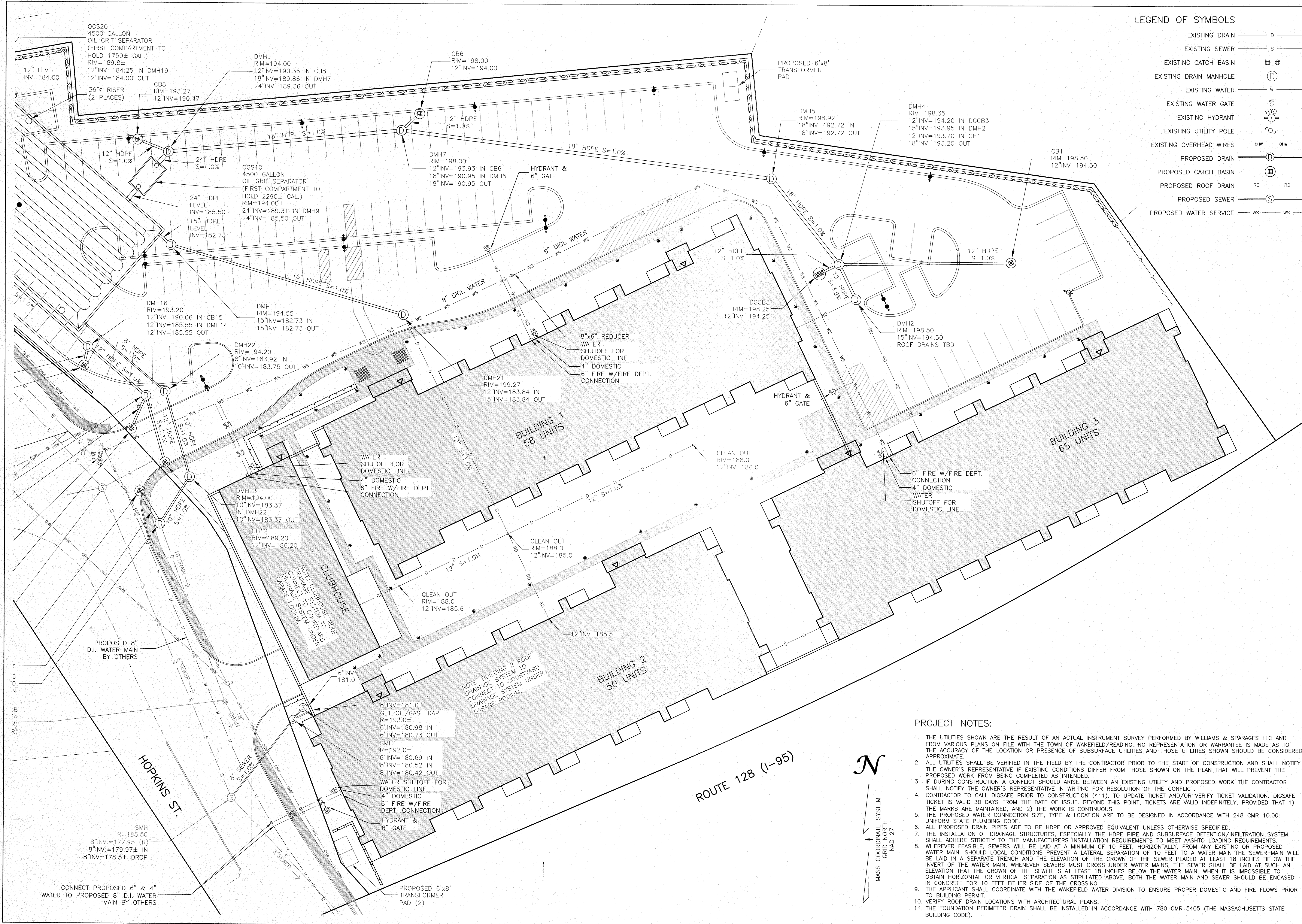
10.2.2019

UTILITY PLAN (1 OF 2)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

Curbing	6	10/2/2019
Miscellaneous	5	9/15/2019
Town Comments	4	7/15/2019
Town Comments	3	6/27/2019
Town Comments	2	6/4/2019
Town Comments	1	4/18/2019

DRAWING: C5.1
SHEET 7 OF 16
SEPTEMBER 14, 2018

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LEGEND OF SYMBOLS

EXISTING DRAIN	D
EXISTING SEWER	S
EXISTING CATCH BASIN	⊕
EXISTING DRAIN MANHOLE	⊙
EXISTING WATER	W
EXISTING WATER GATE	⊕
EXISTING HYDRANT	⊕
EXISTING UTILITY POLE	⊕
EXISTING OVERHEAD WIRES	OWH
PROPOSED DRAIN	D
PROPOSED CATCH BASIN	⊕
PROPOSED ROOF DRAIN	RD
PROPOSED SEWER	S
PROPOSED WATER SERVICE	WS

WILLIAMS & SPARAGES
189 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE (978) 339-8088
WWW.WSENGINEERS.COM

Owner:
DBS Development Group, LLC
9 Wildwood Road
Middletown, MA 01949

Applicant:
DBS Development Group, LLC
9 Wildwood Road
Middletown, MA 01949

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48

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SEAL

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
MATTHEW E. SPARAGAS
No. 45885
Exp. 12/31/2024
0.2.2019

UTILITY PLAN (2 OF 2)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

Curbing	6	10/2/2019
Miscellaneous	5	9/5/2019
Town Comments	4	7/5/2019
Town Comments	3	6/27/2019
Town Comments	2	6/12/2019
Town Comments	1	4/8/2019

DRAWING: C5.2

SHEET 8 OF 16

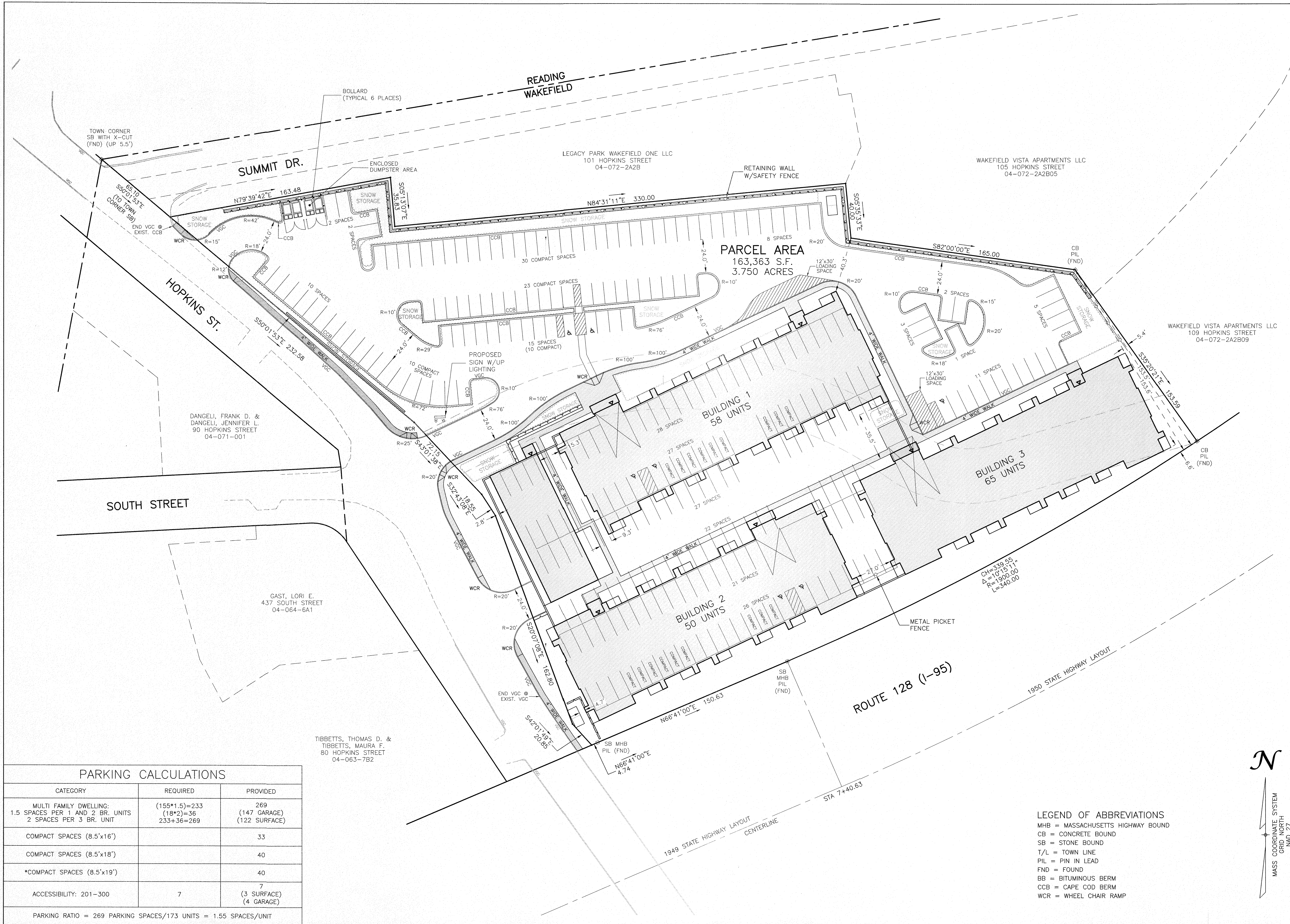
SEPTEMBER 14, 2018

PROJECT NOTES:

1. THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC AND FROM VARIOUS PLANS ON FILE WITH THE TOWN OF WAKEFIELD/READING. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
2. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
3. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
4. CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
5. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
6. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
7. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND SUBSURFACE DETENTION/INFILTRATION SYSTEM, SHALL ADHERE STRICTLY TO THE MANUFACTURER'S INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
8. WHEREVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
9. THE APPLICANT SHALL COORDINATE WITH THE WAKEFIELD WATER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
10. VERIFY ROOF DRAIN LOCATIONS WITH ARCHITECTURAL PLANS.
11. THE FOUNDATION PERIMETER DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH 780 CMR 5405 (THE MASSACHUSETTS STATE BUILDING CODE).

P:\WAKE-0048\Tarrant Lane\Drawings\SP\Drawings\SP.dwg, 10/2/2019 5:11:23 AM, JMA

PARKING CALCULATIONS		
CATEGORY	REQUIRED	PROVIDED
MULTI FAMILY DWELLING: 1.5 SPACES PER 1 AND 2 BR. UNITS 2 SPACES PER 3 BR. UNIT	(155*1.5)=233 (18*2)=36 233+36=269	269 (147 GARAGE) (122 SURFACE)
COMPACT SPACES (8.5'x16')		33
COMPACT SPACES (8.5'x18')		40
*COMPACT SPACES (8.5'x19')		40
ACCESSIBILITY: 201-300	7	7 (3 SURFACE) (4 GARAGE)
PARKING RATIO = 269 PARKING SPACES/173 UNITS = 1.55 SPACES/UNIT		



WILLIAMS & SPARGES
189 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE: (978) 539-8088
WWW.WSENGINEERS.COM

Owner:
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9 Wildwood Road
Middleton, MA 01949

Applicant:
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9 Wildwood Road
Middleton, MA 01949

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48

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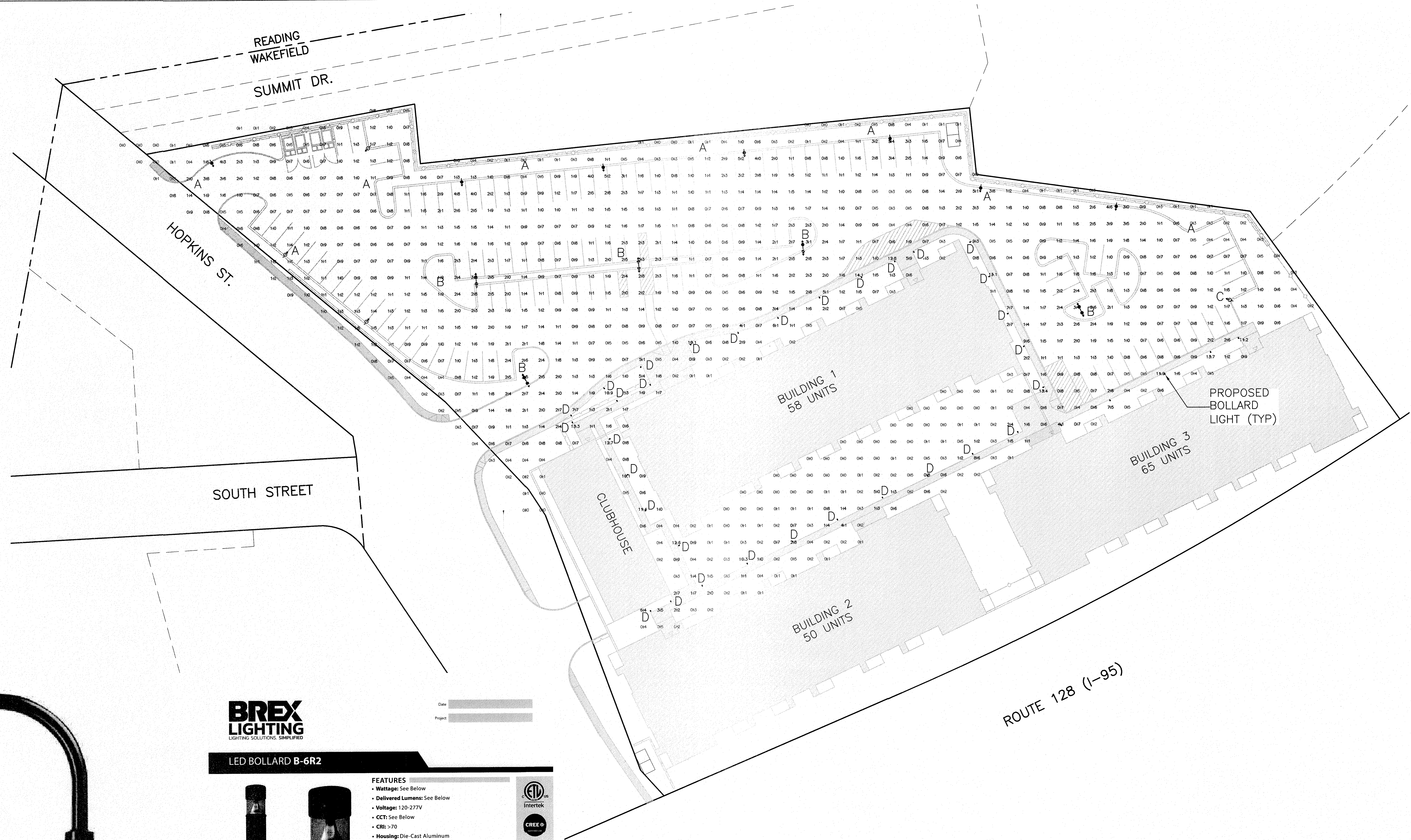
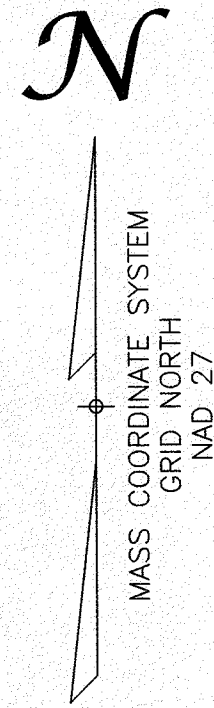
SURVEY & LAYOUT PLAN
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

Curbing	10/2/2019
Miscellaneous	9/5/2019
Town Comments	7/15/2019
Town Comments	6/27/2019
Town Comments	6/4/2019
Town Comments	4/8/2019

DATE: SEPTEMBER 14, 2018

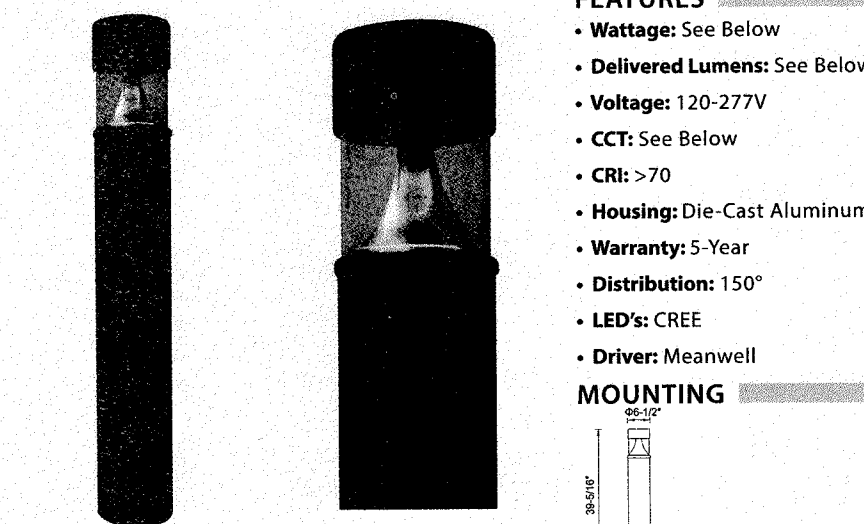
DRAWING: C6.1

SHEET 9 OF 16



BREX
LIGHTING
LIGHTING SOLUTIONS. SIMPLIFIED

LED BOLLARD B-6R2



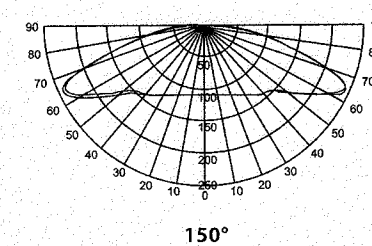
- FEATURES**
- **Wattage:** See Below
 - **Delivered Lumens:** See Below
 - **Voltage:** 120-277V
 - **CCT:** See Below
 - **CRI:** >70
 - **Housing:** Die-Cast Aluminum
 - **Warranty:** 5-Year
 - **Distribution:** 150°
 - **LEDs:** CREE
 - **Driver:** Meanwell

MOUNTING

Product Number	Wattage	Voltage	CCT	Distribution	Finish	Mounting
B-6R2	15W (1,200 lm) 27W (1,800 lm)	120-277V	3000K 4000K 5000K	150°	Textured Dark Bronze Sentry Glass Black	Surface Bracket

SAMPLE SKU: B-6R2-35W-120/277-5000K-D150-SGB

DISTRIBUTION



LIGHTING SOLUTIONS. SIMPLIFIED

WEB: WWW.BREXLIGHTING.COM PHONE: 877-BREX-LED (877-273-9533)

NOTES:

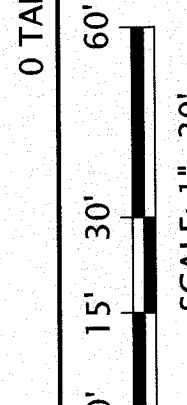
1. SECURITY LIGHTING TO BE DETERMINED.
2. ILLUMINANCE VALUES CREATED FROM MANUFACTURERS PHOTOMETRIC DATA.
3. ILLUMINANCE VALUES SHOWN REPRESENT MAINTAINED HORIZONTAL FOOTCANDLES AT GROUND LEVEL.
4. FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION, EXISTING LIGHT SOURCES, SLOPING GRADE OR EXISTING OR PROPOSED THREE DIMENSIONAL OBJECTS.

Parking Area	1014 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES	
Average	1.3
Maximum	14.1
Minimum	0.0
Avg-Min	N/A
Max-Min	N/A
Coef Var	1.30
UniGrad	N/A

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	CATALOG NUMBER HADCO/BREX	DESCRIPTION	LAMP	TILT	LLF
	A	7	HADCO PIMA SERIES LED CXFxx48-G2-3W3-H-16 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE III OPTICS 15' MOUNTING HEIGHT	3000K 4211 LUMENS PER LAMP	0°	1.00
	B	5	HADCO PIMA SERIES LED CXFxx48-G2-5W3-16 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE V OPTICS TWIN 180° 15' MOUNTING HEIGHT	3000K 4824 LUMENS PER LAMP	0°	1.00
	C	4	HADCO PIMA SERIES LED CXFxx48-G2-5W3-16 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE III OPTICS 15' MOUNTING HEIGHT	3000K 4824 LUMENS PER LAMP	0°	1.00
	D	37	BREX LED LED-BOLLARD-B-6R2 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	BOLLARD	3000K 1925+ LUMENS PER LAMP	0°	0.40

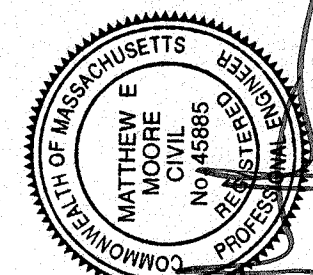
PHOTOMETRIC PLAN
TARRANT LANE APARTMENTS

DRAWING: C7.1	6	Curbing	10/2/2019
	5	Miscellaneous	9/5/2019
	4	Town Comments	7/5/2019
	3	Town Comments	6/27/2019
	2	Town Comments	6/4/2019
SHEET 10 OF 16	1	Town Comments	4/8/2019
	SEPTEMBER 14, 2018		



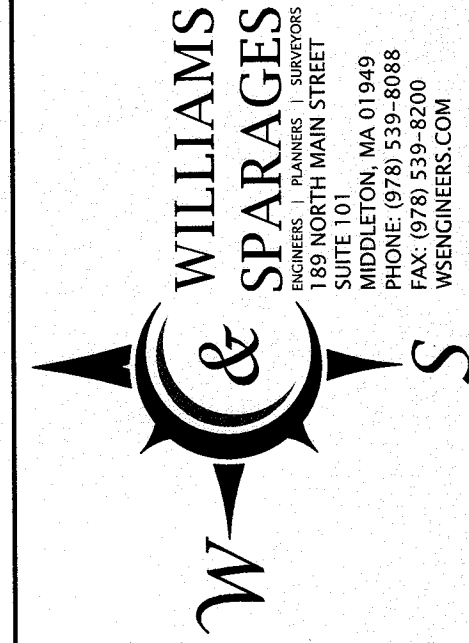
SCALE: 1"=30'

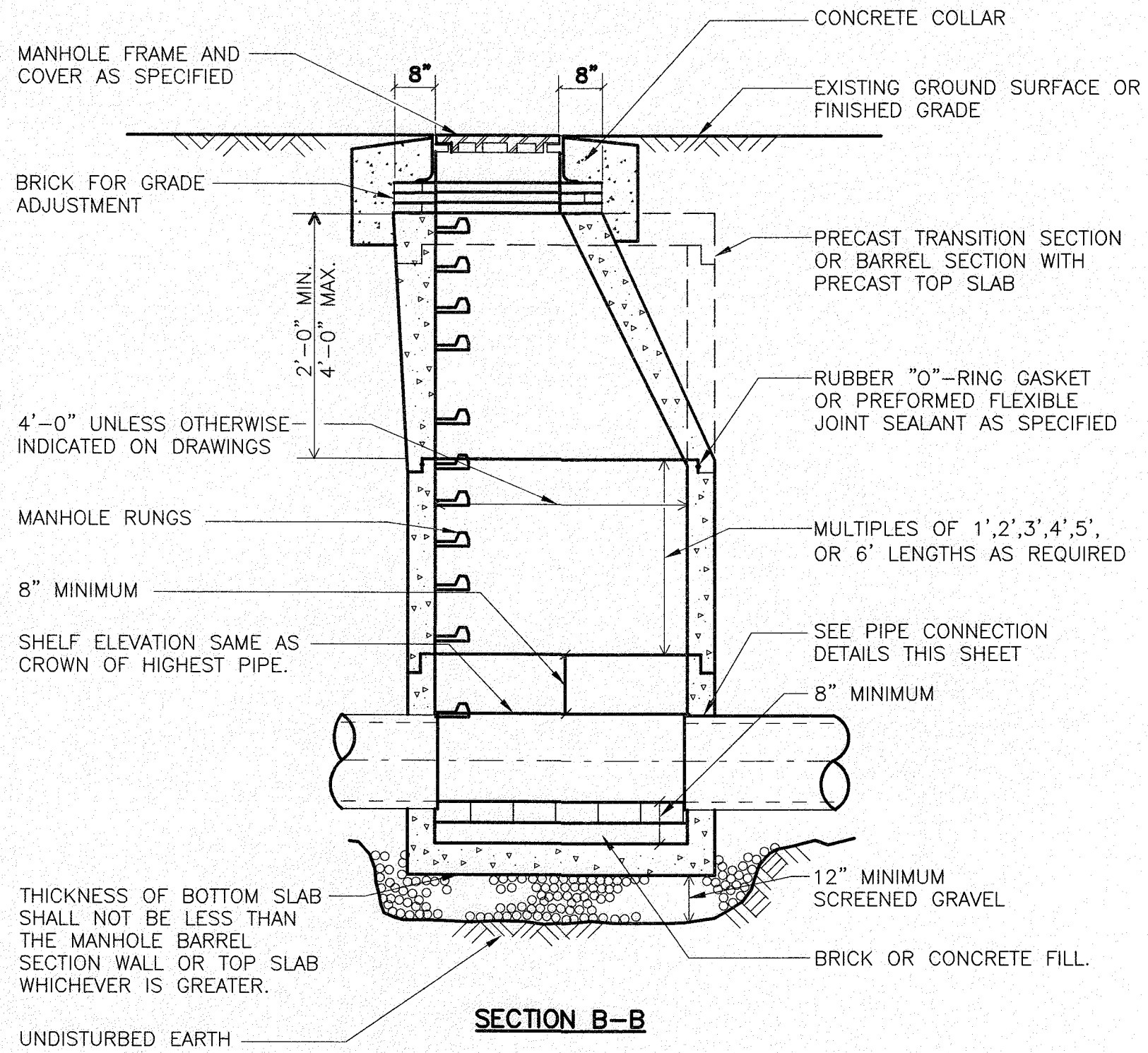
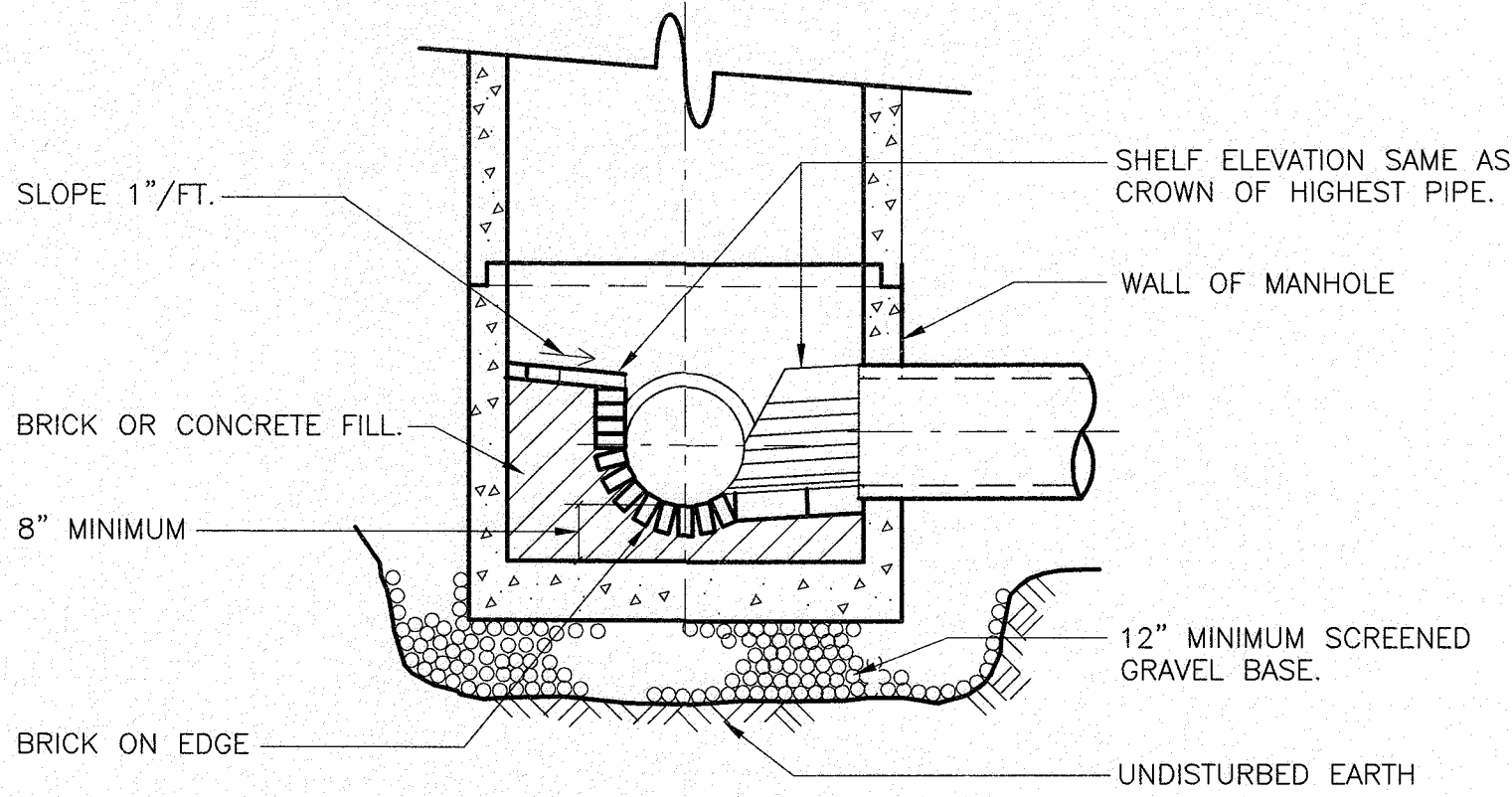
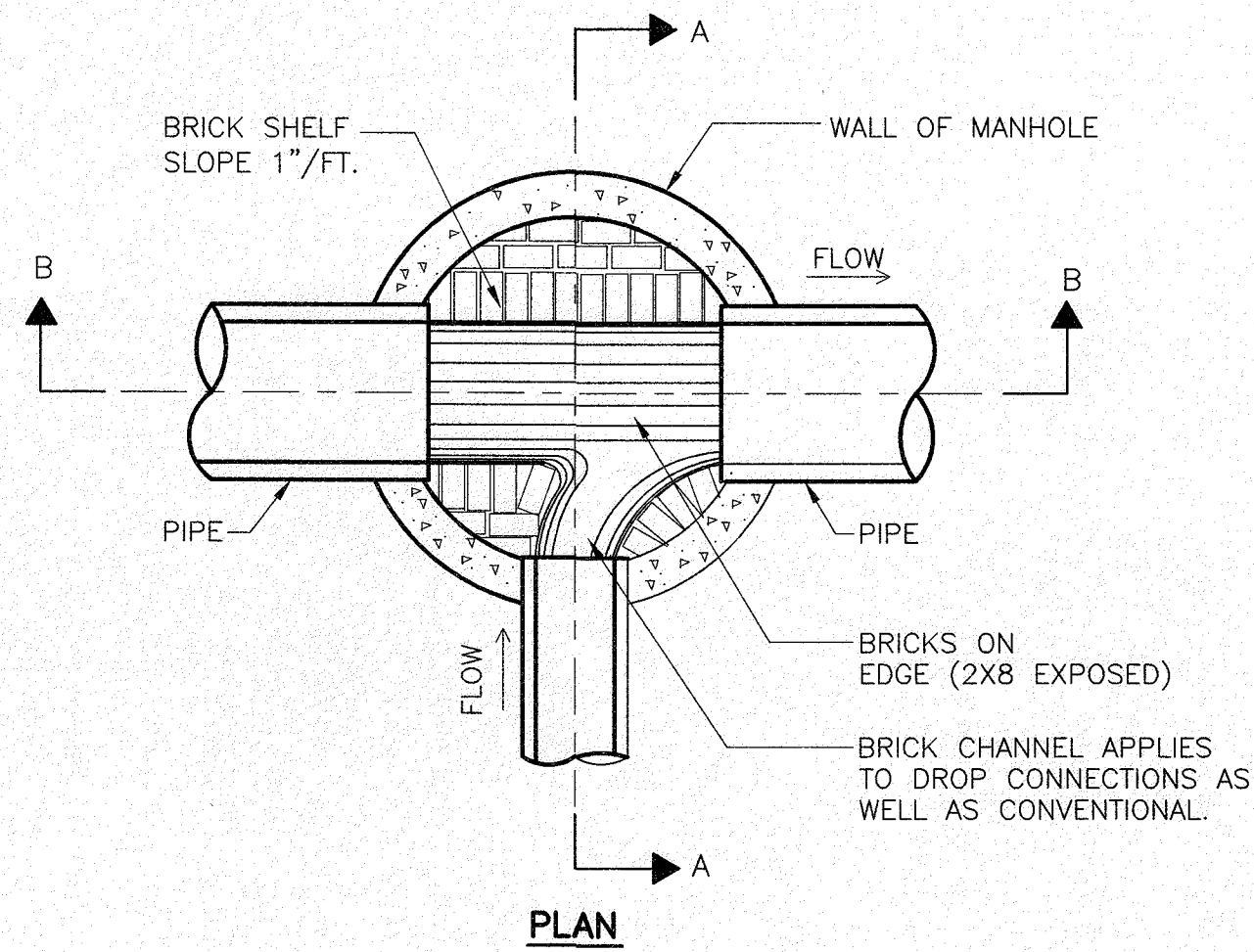
SEAL



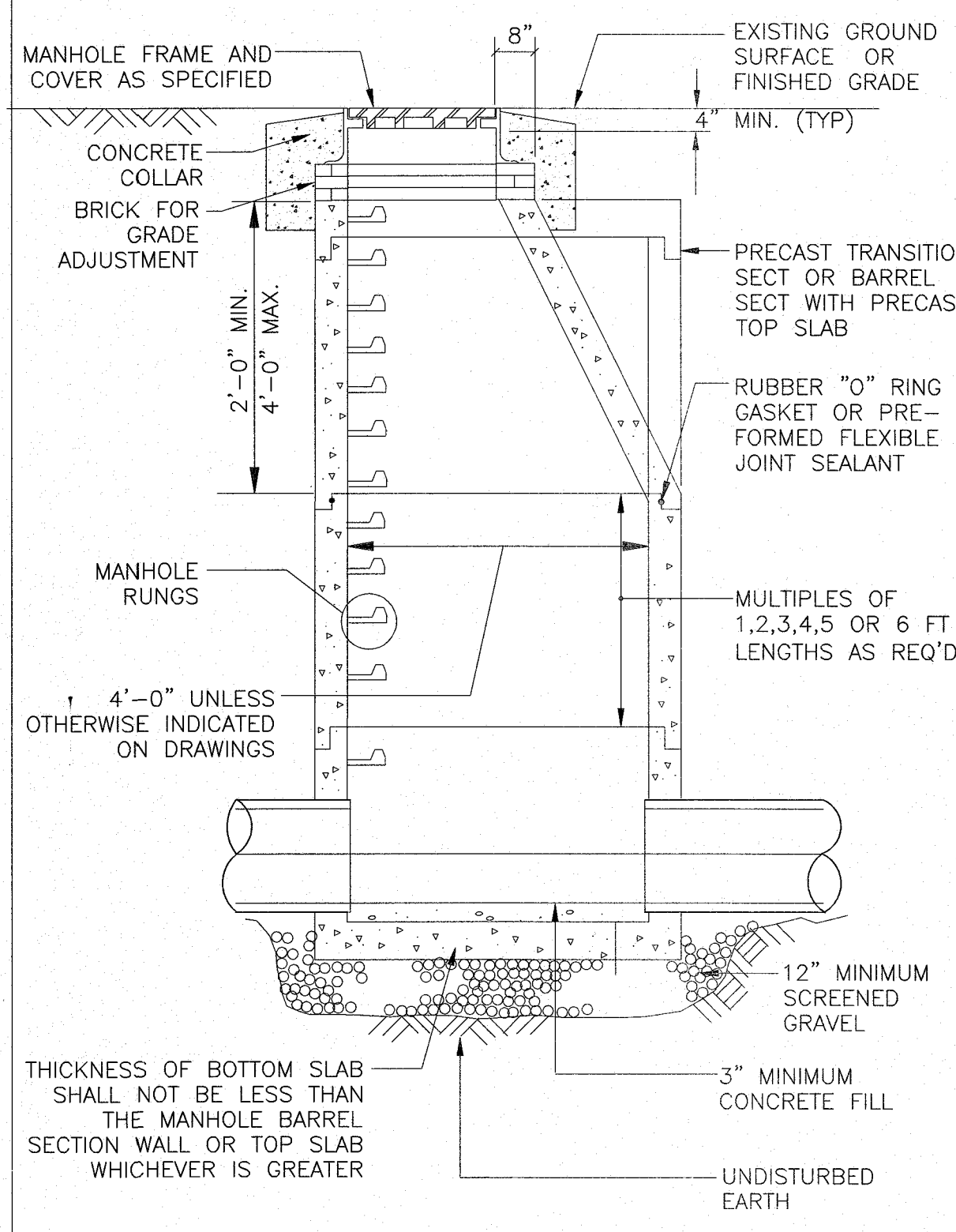
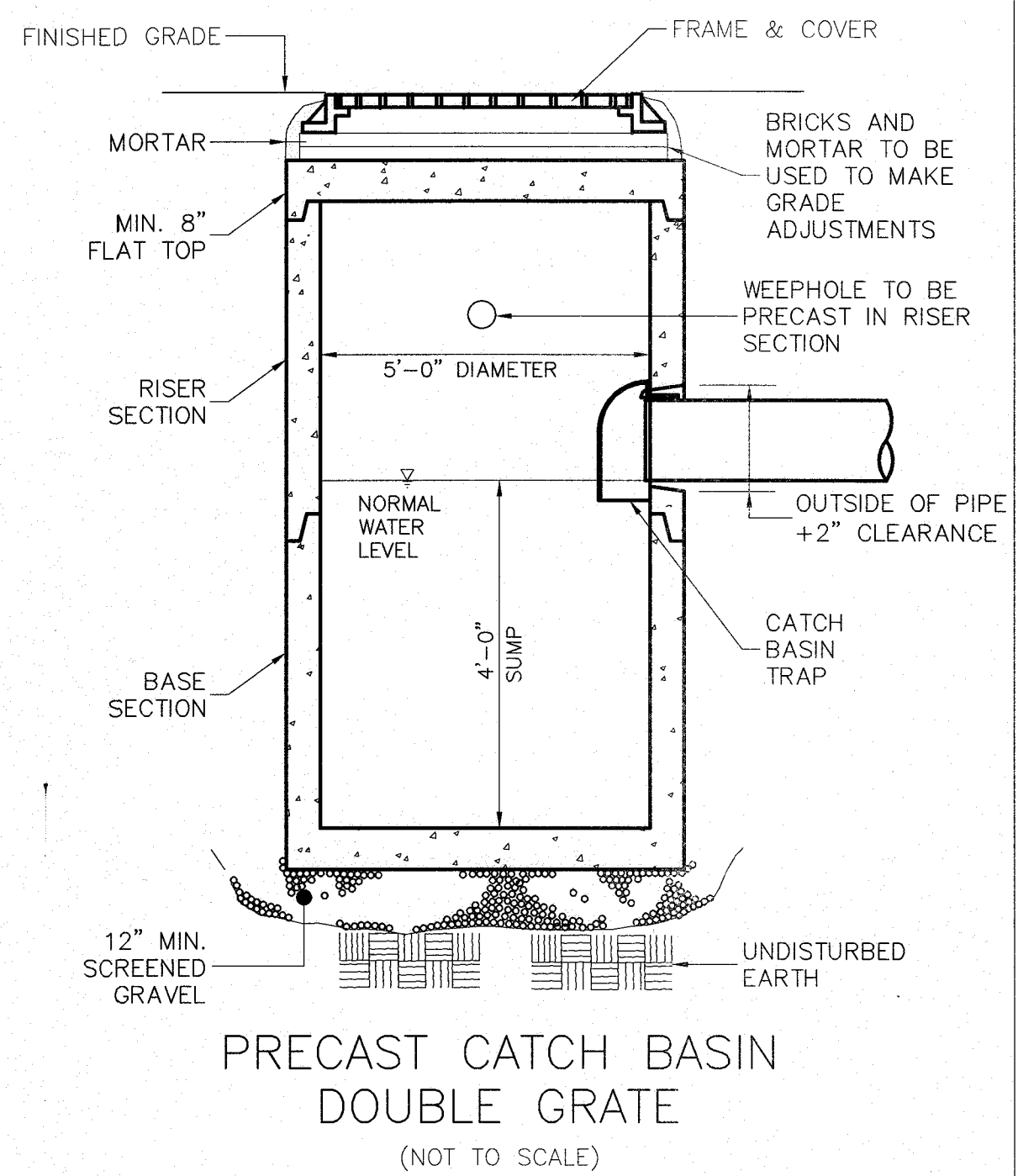
Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48
☐ Drawing Issued for Review Only
☒ Drawing Issued for Permit
☐ Drawing Issued for Construction

Owner:
DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949
Applicant:
DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949

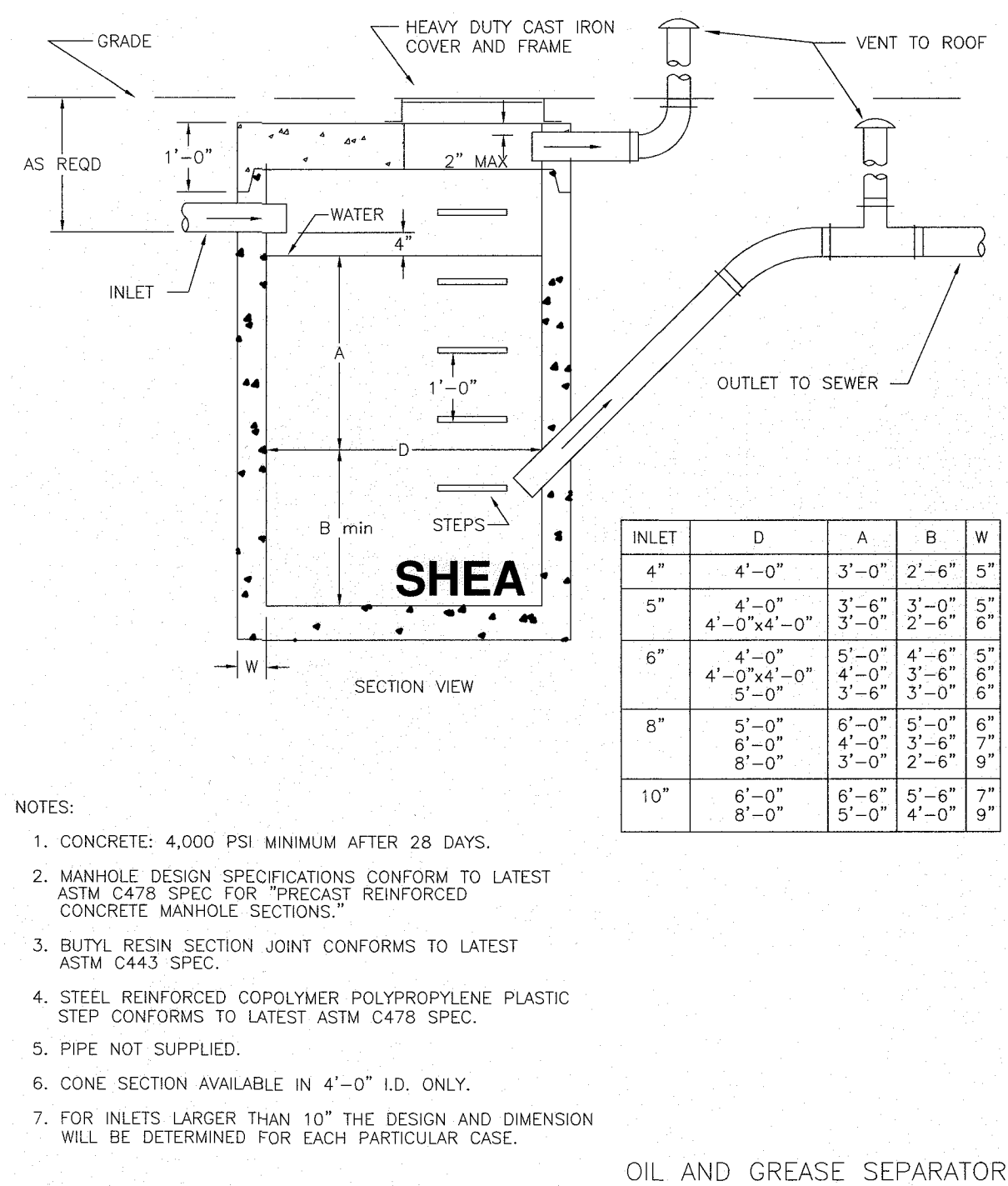




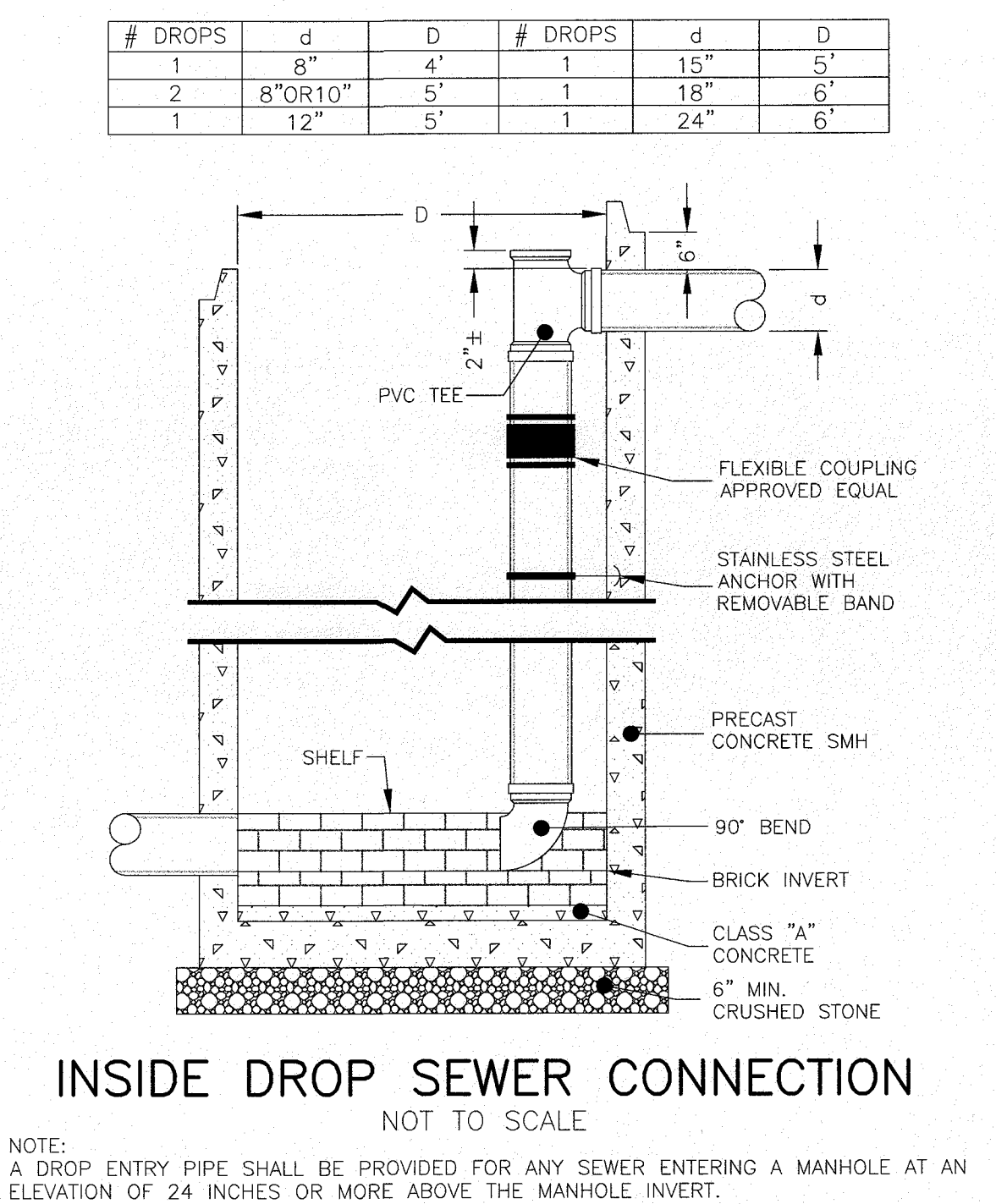
PRECAST SEWER MANHOLE (NOT TO SCALE)



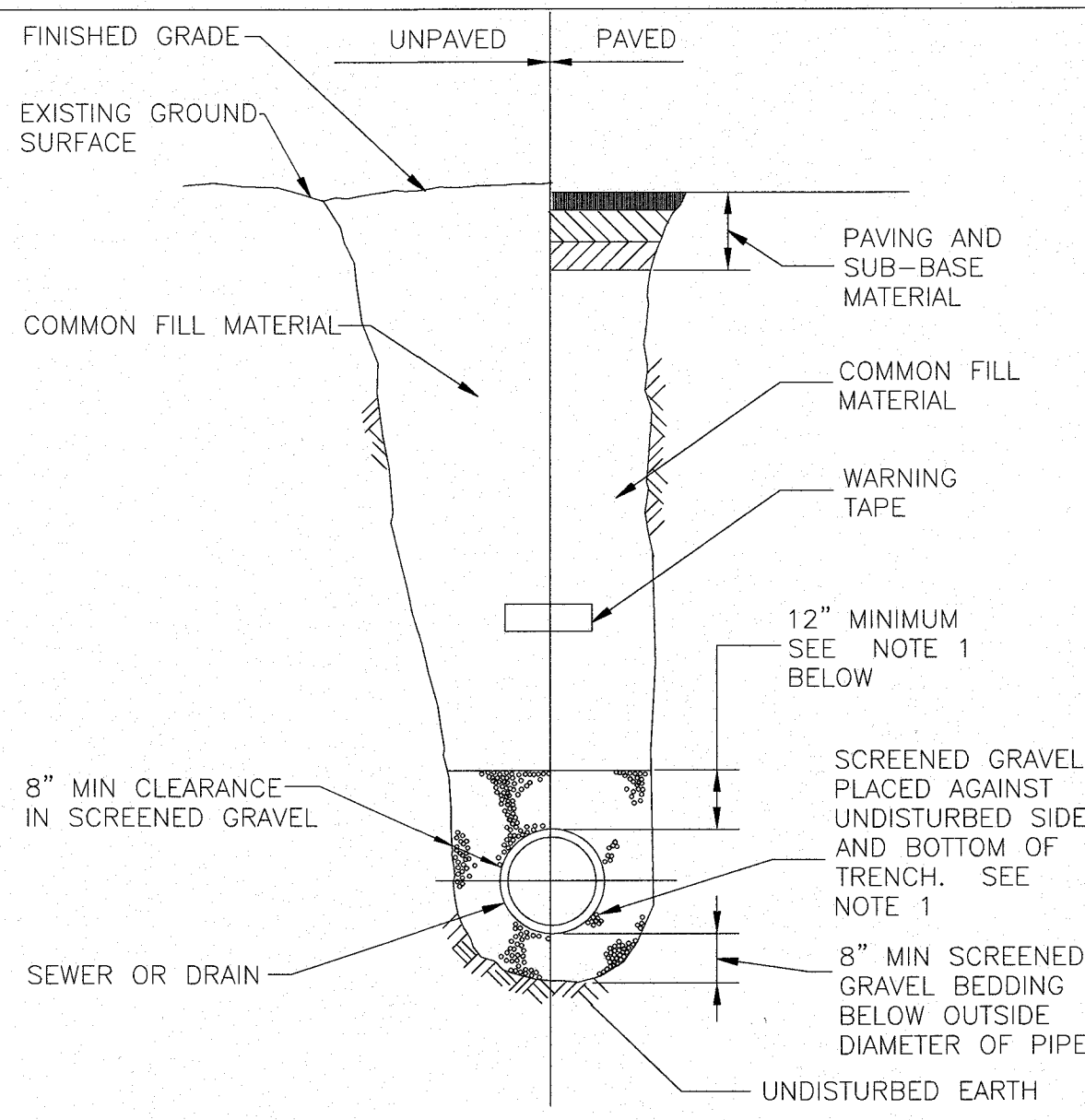
PRECAST DRAIN MANHOLE (NOT TO SCALE)



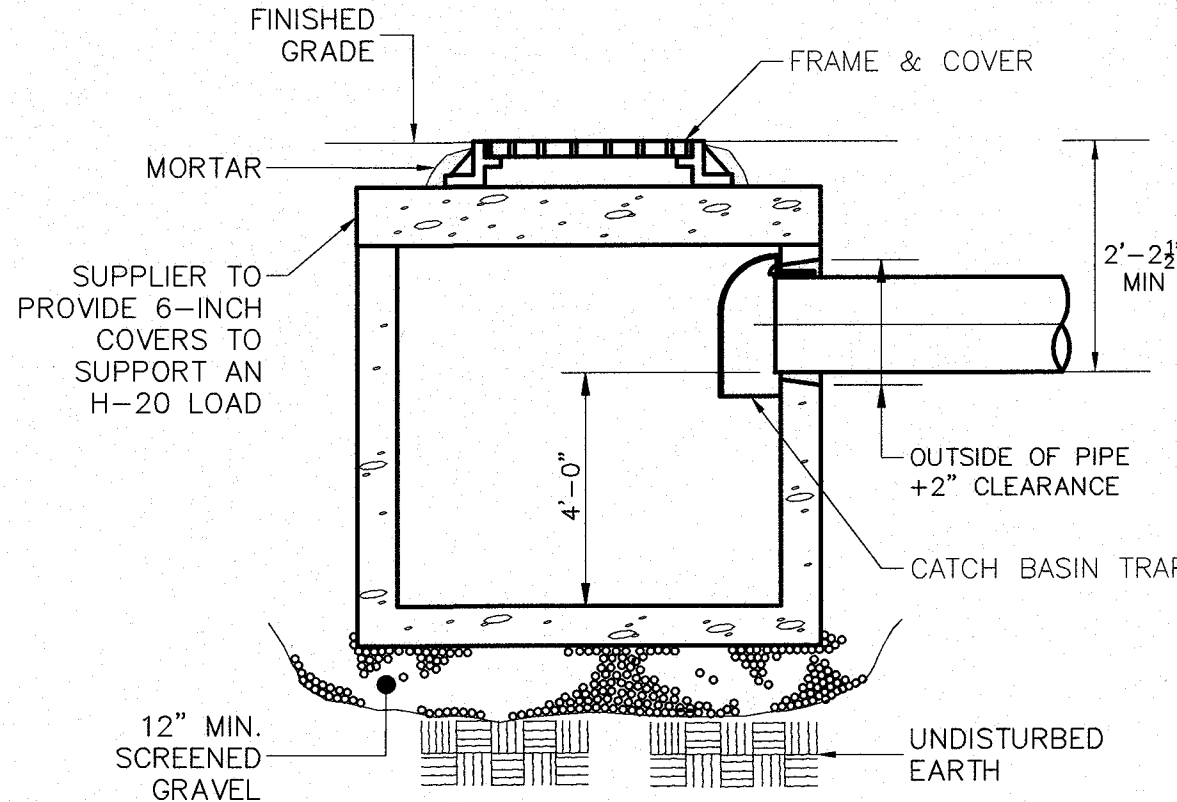
PRECAST CATCH BASIN (NOT TO SCALE) SINGLE GRATE



INSIDE DROP SEWER CONNECTION (NOT TO SCALE)



TRENCH FOR GRAVITY PIPE (NOT TO SCALE)



PRECAST SHALLOW CATCH BASIN (NOT TO SCALE)

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SEAL

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
MATTHEW E. SPARAGES
No. 48886
Exp. 06/30/2021

10.2.2018

SITE DETAILS PLAN (1 OF 4)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

SCALE: NONE

DRAWING: C8.1

SHEET 11 OF 16

10/2/2019
9/5/2019
7/5/2019
6/27/2019
6/4/2019
4/8/2019

Curbing
Miscellaneous
Town Comments
Town Comments
Town Comments
Town Comments

SEPTEMBER 14, 2018

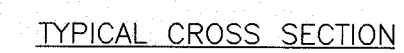
P:\MADE\008\Tarrant Lane\Drawings\Sheet C8.1.dwg 10/2/2019 5:11:08 AM MEM

CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR 1.5 TIMES NORMAL OPERATING PRESSURE.



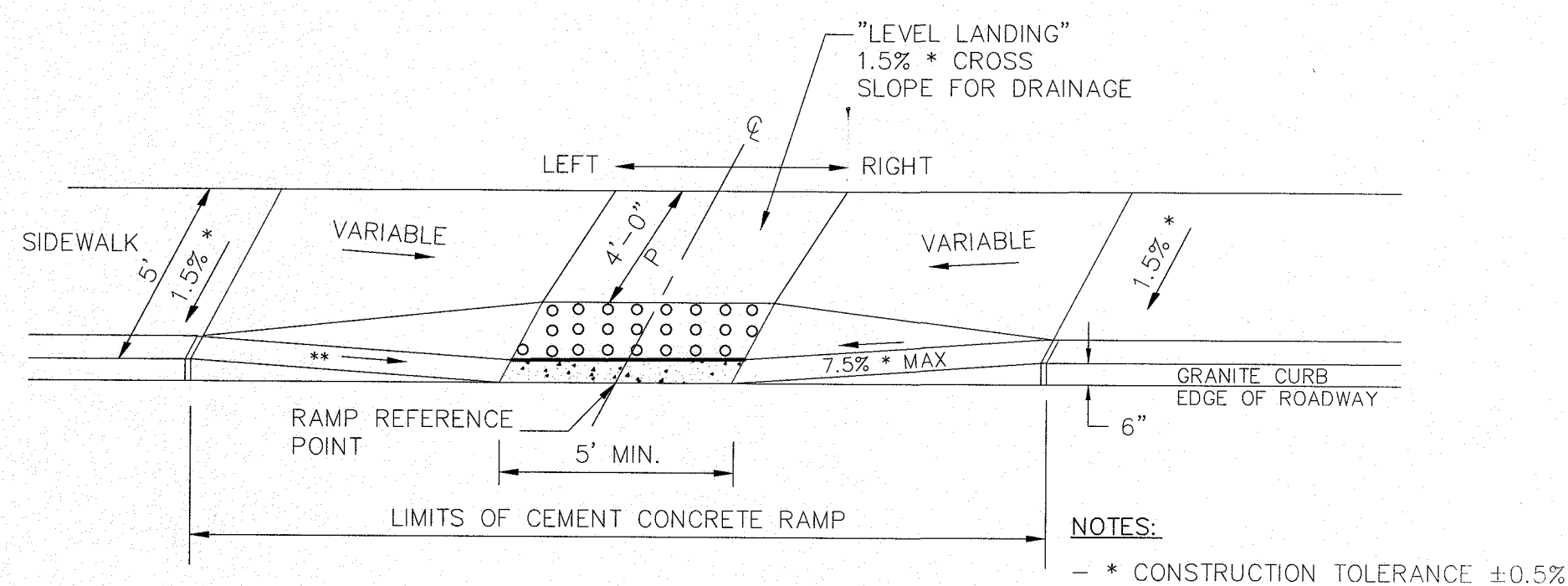
Diagram illustrating the required expansion joints and control joints for a concrete walkway:

- 30' MAX SPACING BETWEEN EXPANSION JOINTS
- 4" THICK CONCRETE WALK
- 5'-0" TYP.
- CONTROL JOINT (SAW CUT 1-IN DEPTH)
- 1/2" EXPANSION JOINT REQUIRED WHEN WALK ABUTS RIGID STRUCTURES

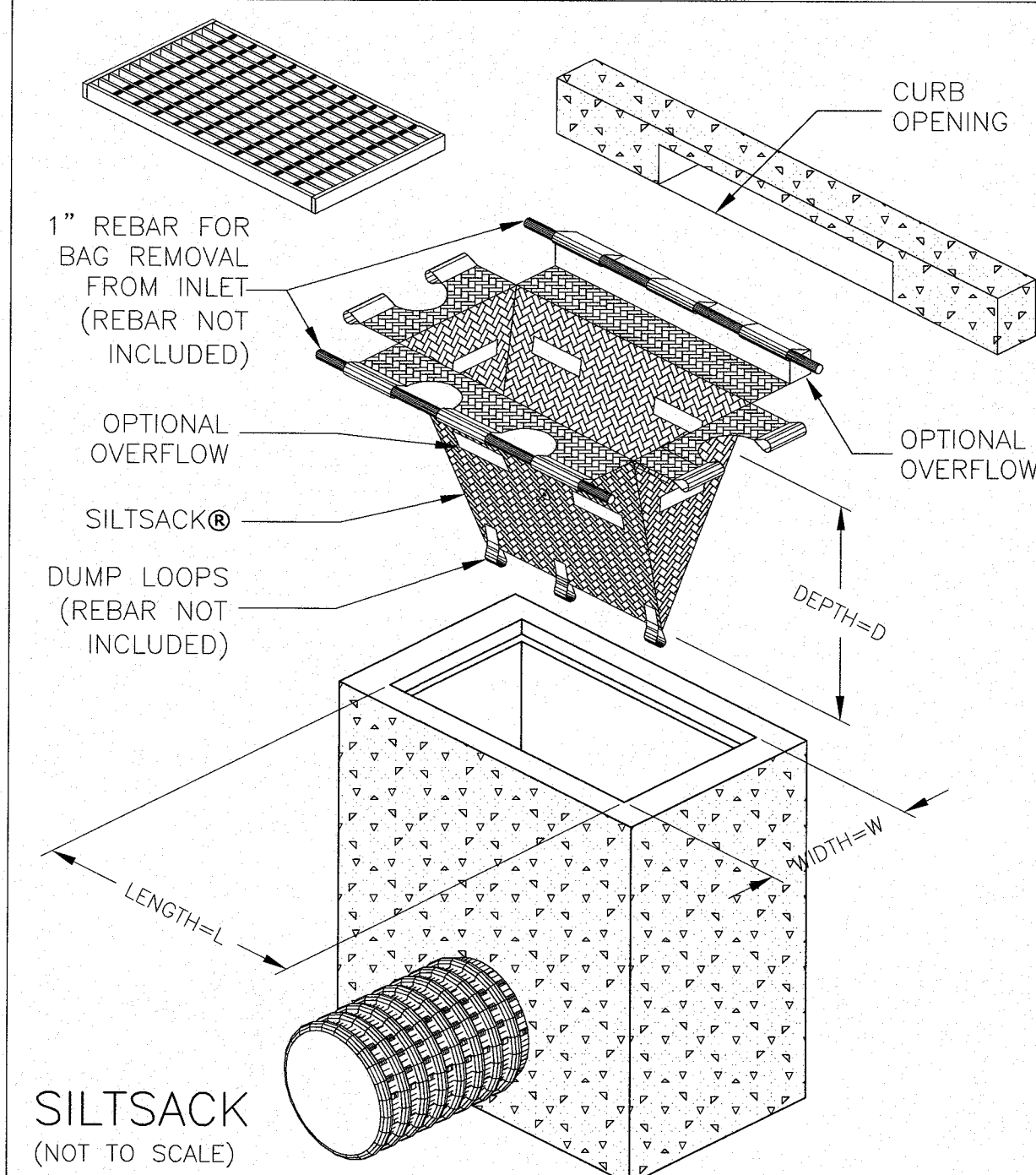
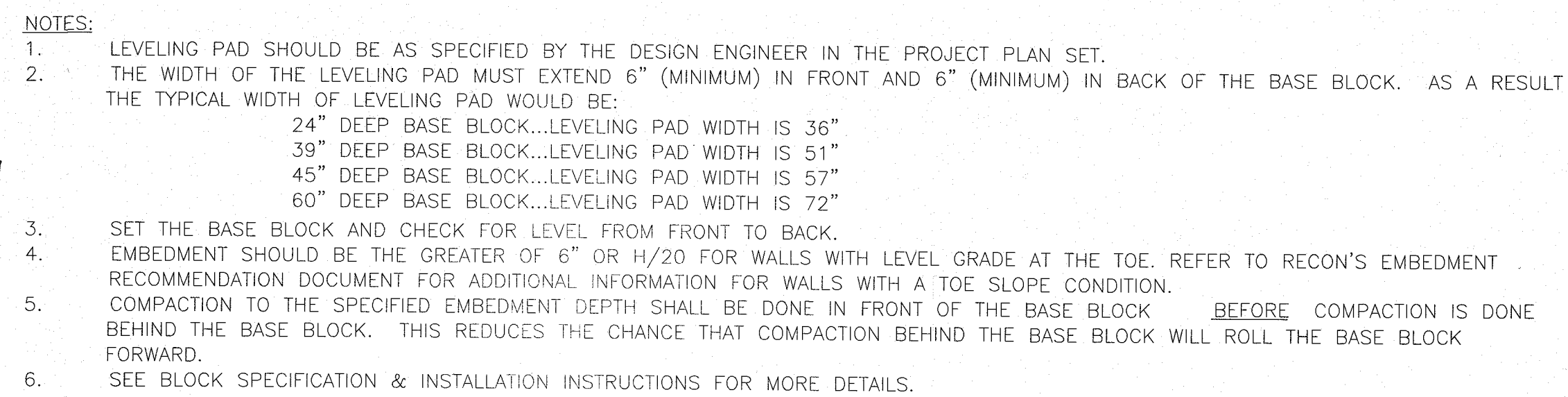


- NOTES
1. SURFACE SHALL BE BROOM FINISH UNLESS OTHERWISE NOTED. FINISH SURFACE SHALL BE SLOPED FOR POSITIVE DRAINAGE AND SHALL SLOPE AWAY FROM STRUCTURES.
 2. EXPANSION JOINTS SHALL NOT EXCEED 30' O.C. AND SHALL BE PLACED AT ALL BUILDING ABUTMENTS.
 3. CONTROL JOINTS SHALL NOT EXCEED 5' O.C. UNLESS OTHERWISE NOTED.

CONCRETE SLAB
(DUMPSTER)
(NOT TO SCALE)



WHEELCHAIR RAMP
(NOT TO SCALE)



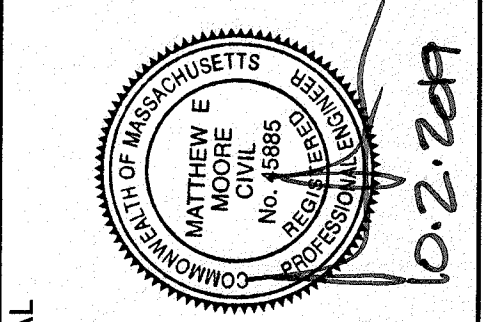
**WILLIAMS
& SPARAGES**
ENGINEERS • PLANNERS • LANDSCAPERS

189 NORTH MAIN STREET
SUITE 101
MINNEAPOLIS, MN 55404
PHONE (612) 539-4988
FAX: (612) 539-5200
WSENGINEERS.COM

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9 Wildwood Road
Middleton, MA 01949

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Drawing File Folder: WAKE48		



SEAL

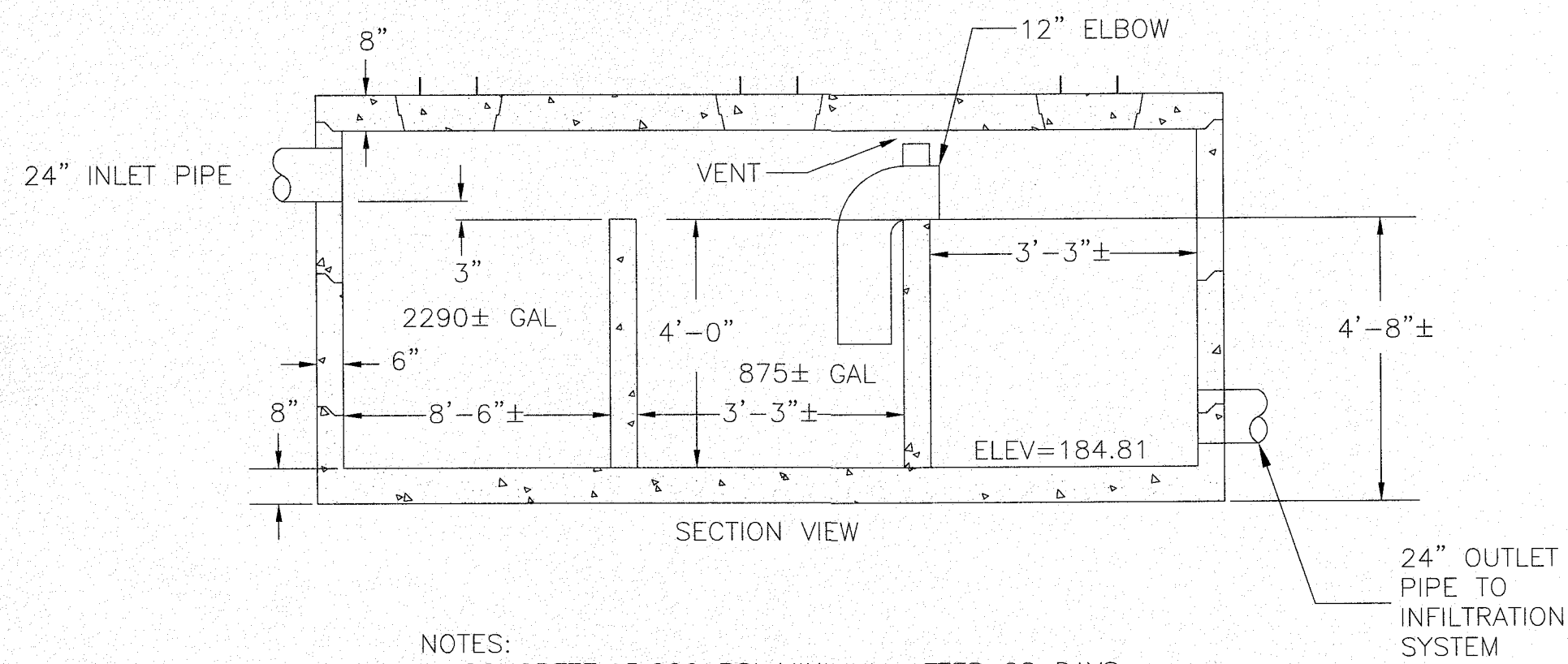
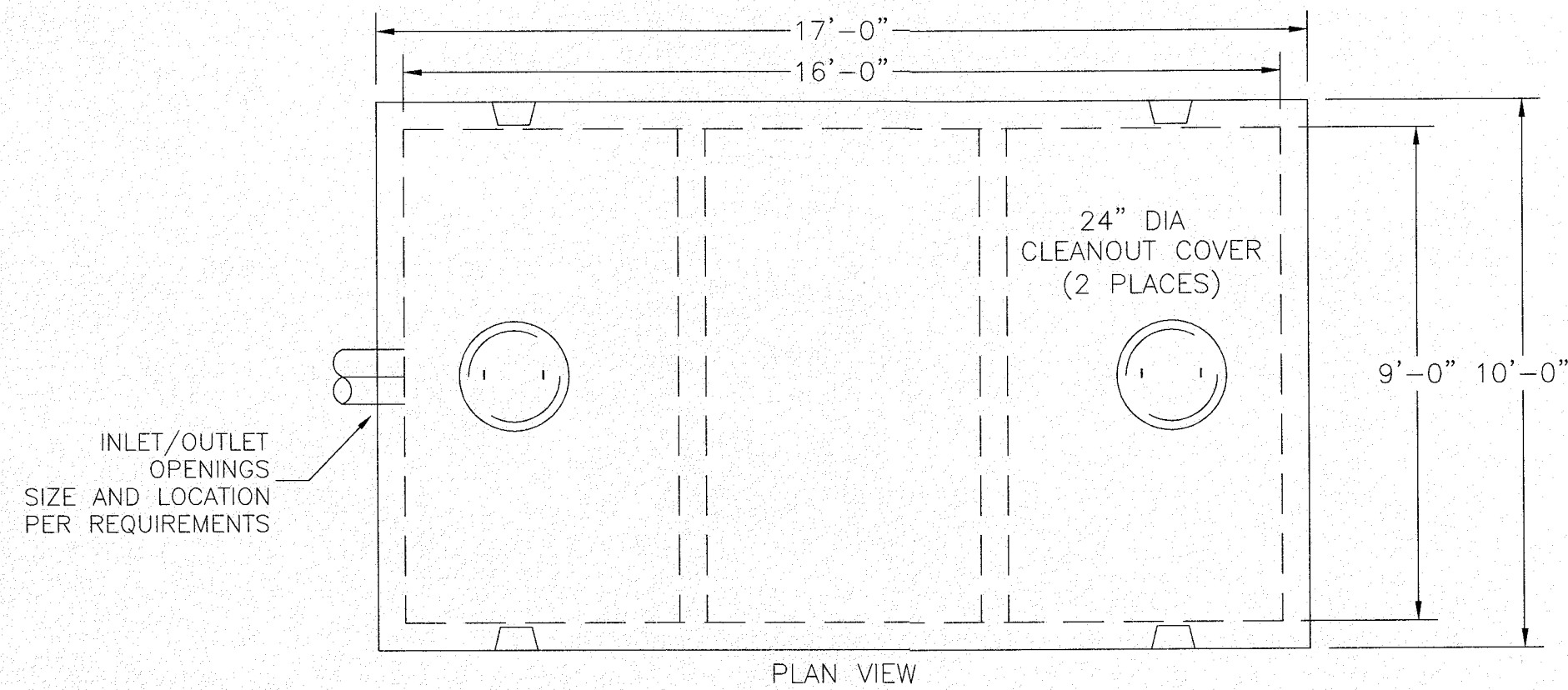
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SEPTEMBER 14, 2018	5	Miscellaneous	9/5/2019	
	4	Town Comments	7/15/2019	
	3	Town Comments	6/27/2019	
	2	Town Comments	6/4/2019	
	1	Town Comments	4/8/2019	

SITE DETAILS PLAN (2 OF 4)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

DRAWING: C8.2

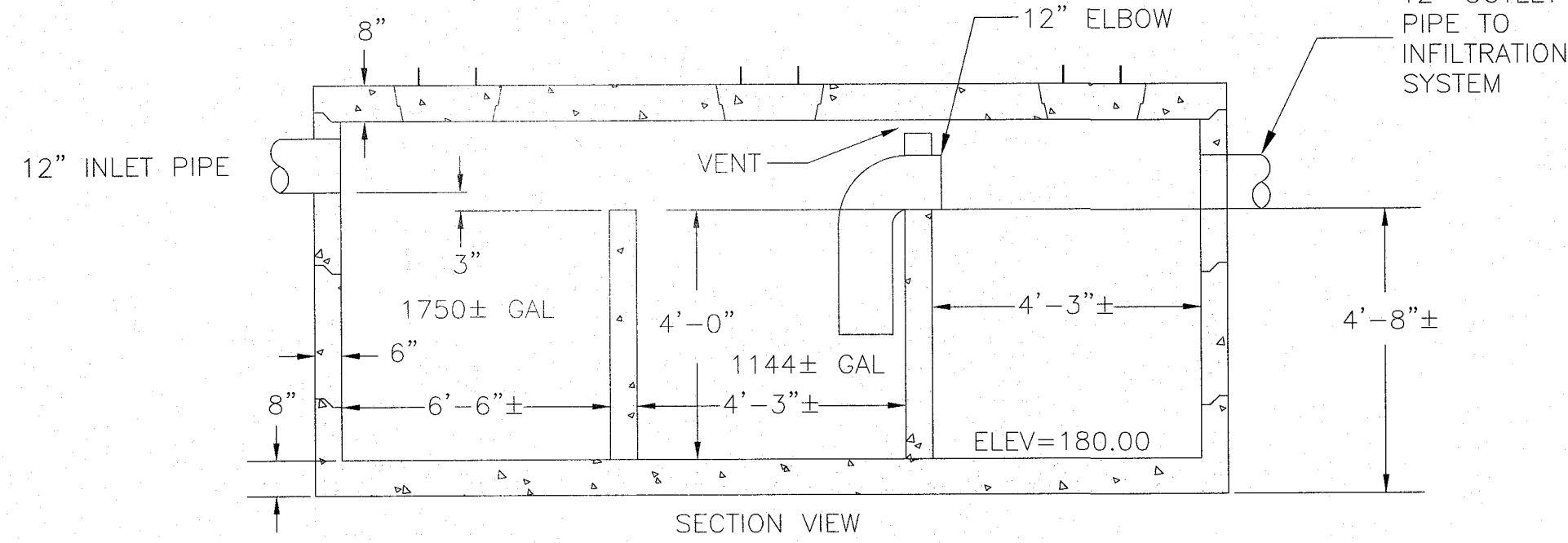
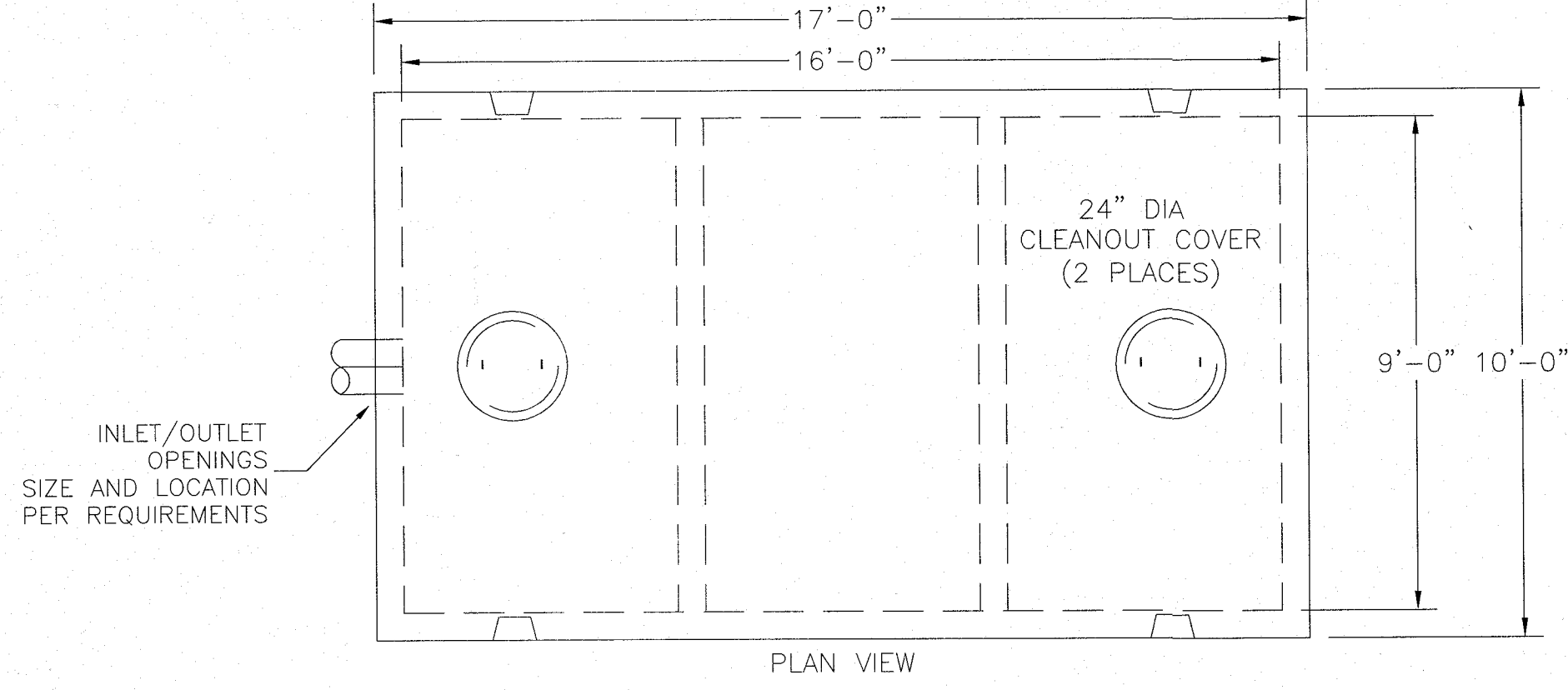
SHEET 12 OF 16

SEPTEMBER 14, 2018



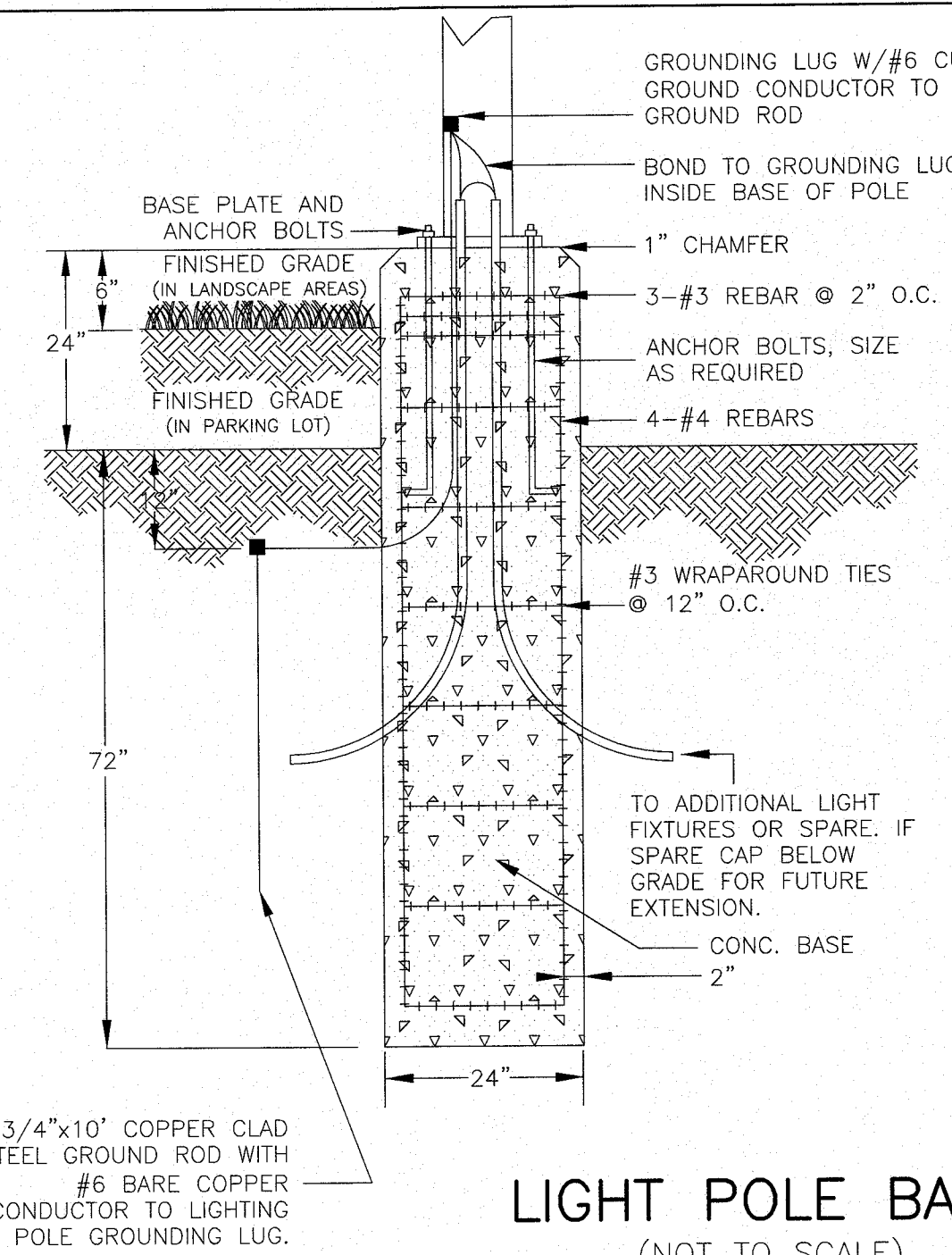
- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR AASHTO H-20 LOADING, 1 TO 5 FEET COVER.
 3. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.

4500 GALLON SEDIMENT AND OIL SEPARATOR
(OGS10)
(NOT TO SCALE)

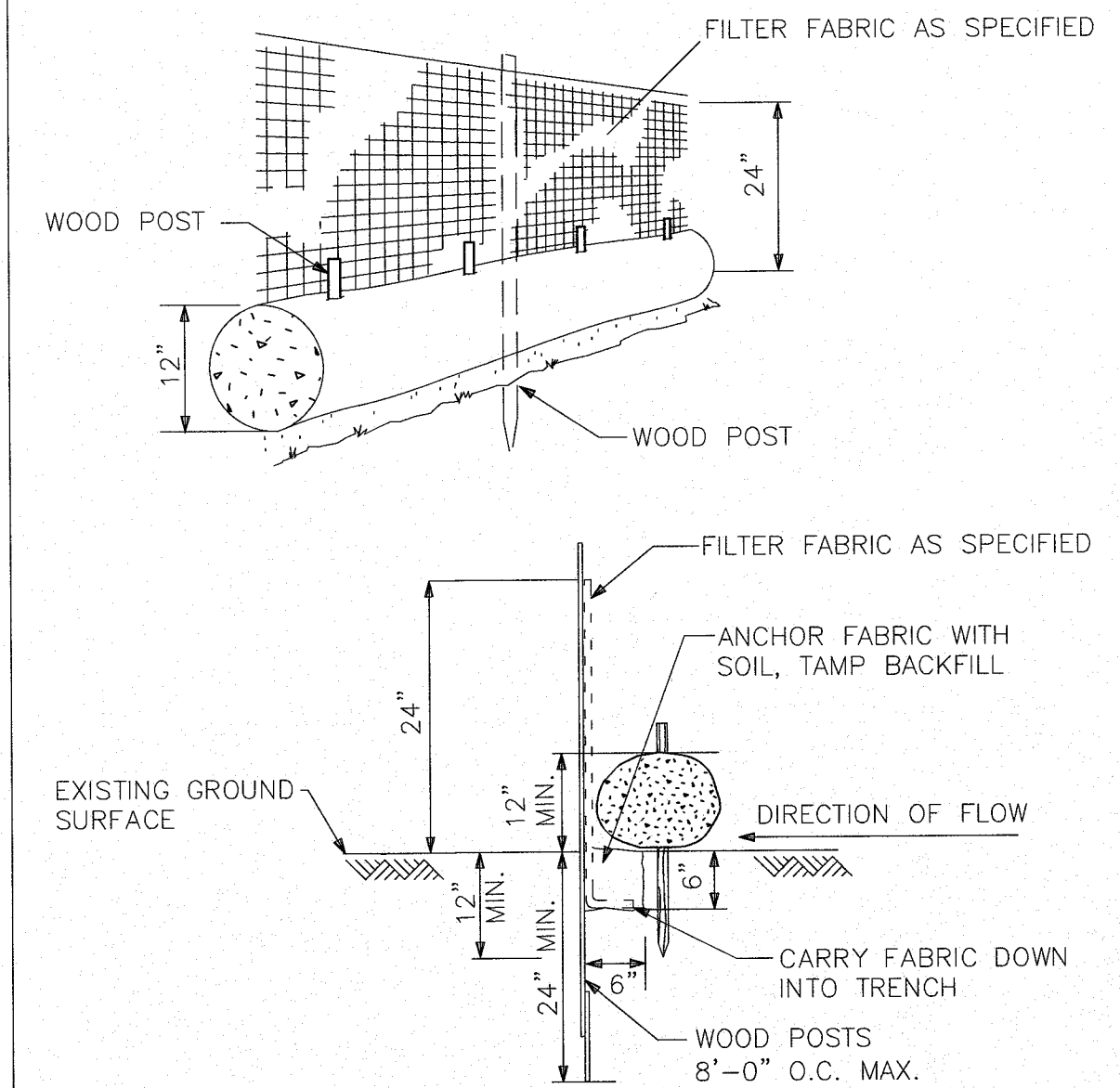


- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR AASHTO H-20 LOADING, 1 TO 5 FEET COVER.
 3. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.

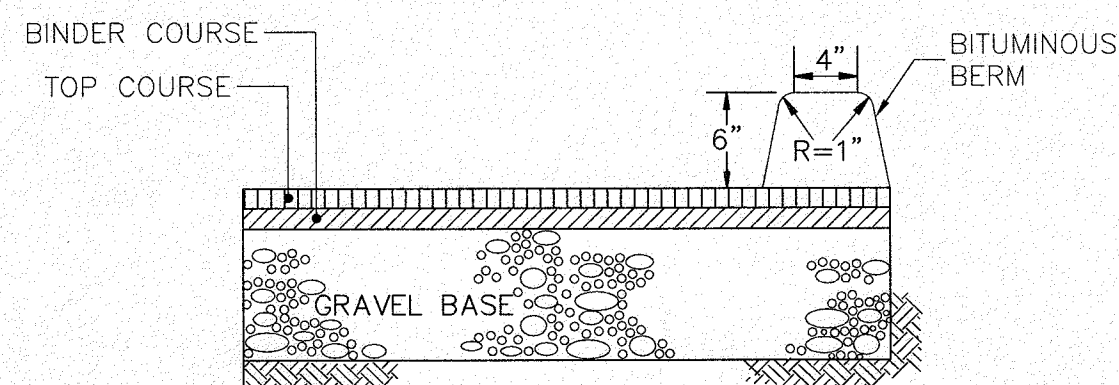
4500 GALLON SEDIMENT AND OIL SEPARATOR
(OGS20)
(NOT TO SCALE)



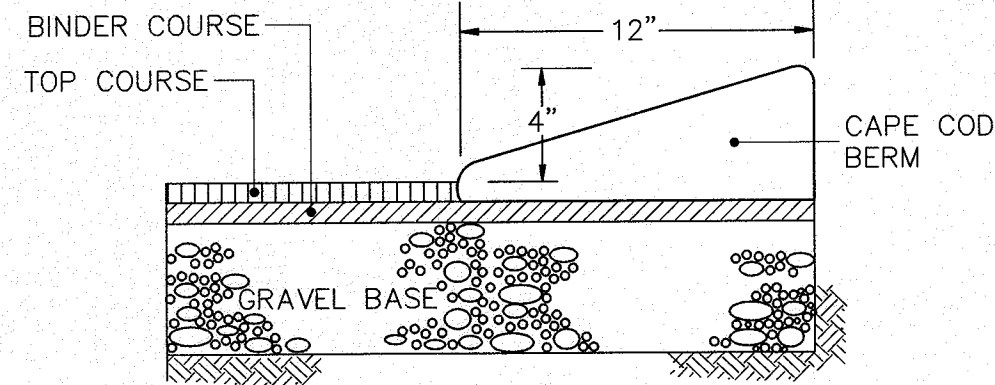
LIGHT POLE BASE
(NOT TO SCALE)



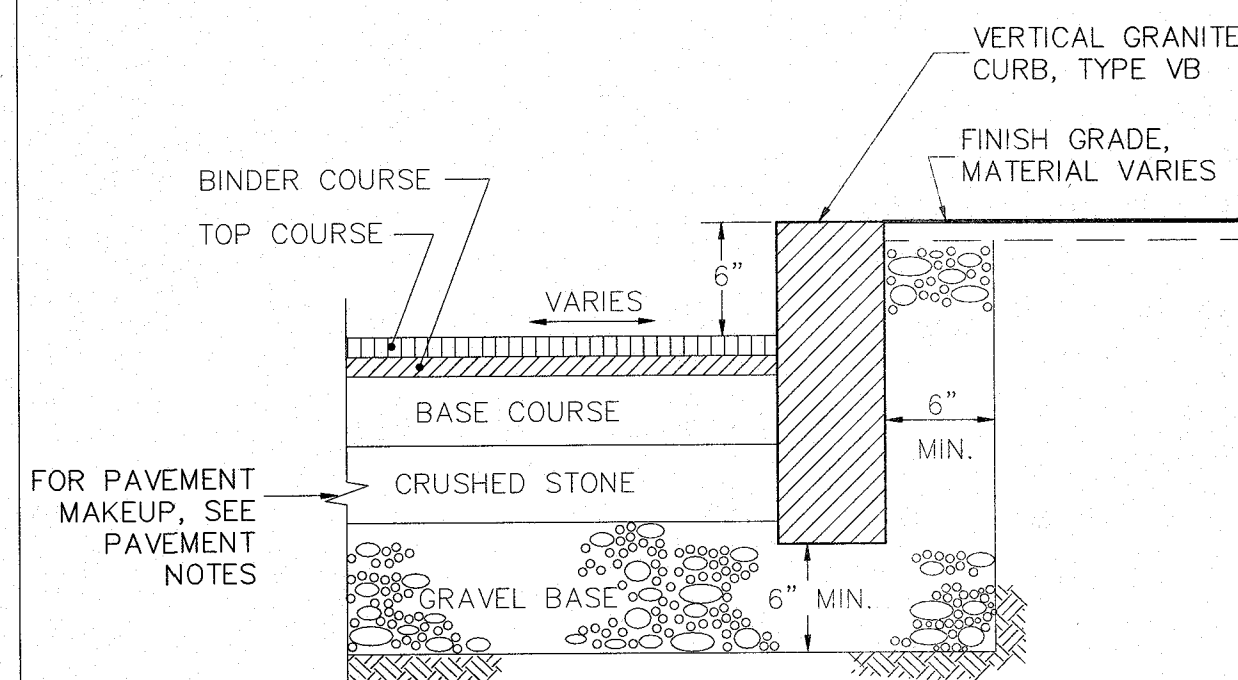
SILT FENCE WITH
MULCH SOCK
(NOT TO SCALE)



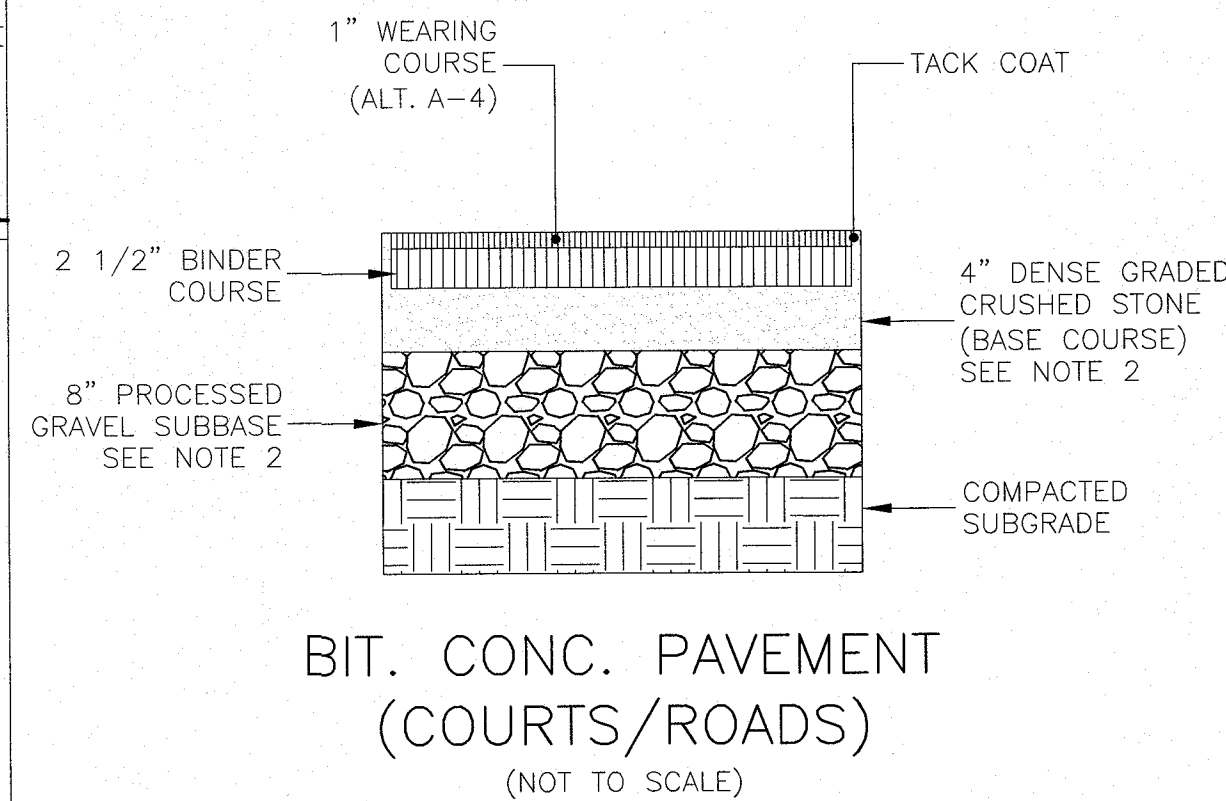
BITUMINOUS BERM
(NOT TO SCALE)



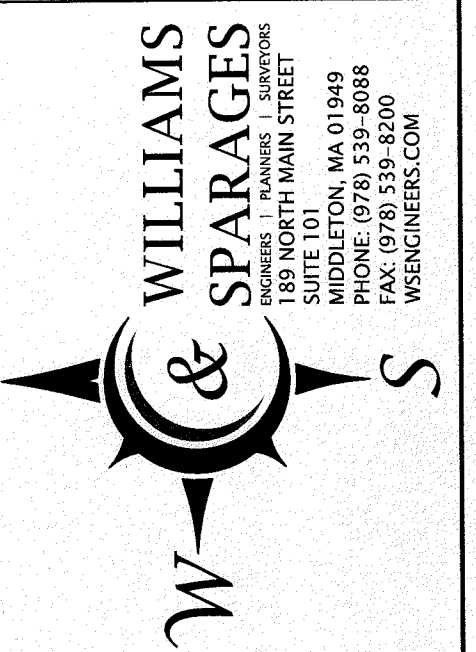
CAPE COD BERM
(NOT TO SCALE)



VERTICAL GRANITE CURB
(NOT TO SCALE)



- NOTES:
1. BASE COURSE AND SUBBASE COURSE SHALL EXTEND 3" MIN. BEYOND EDGE OF PAVEMENT.
 2. PAVEMENT ON ACCESS ROAD SHALL INCLUDE A 2'W x 8" DEPTH DENSE GRADED CRUSHED STONE SHOULDER ON BOTH SIDES OF ROAD.

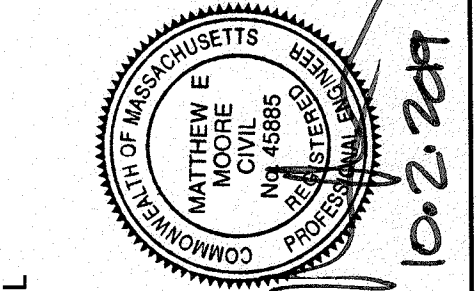


Owner:
DBS Development Group, LLC
9 Wildwood Road
Middletown, MA 01949

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Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48

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DATE	REVISION	BY	FOR
10/2/2019	Curbing	6	
9/5/2019	Miscellaneous	5	
7/5/2019	Town Comments	4	
6/27/2019	Town Comments	3	
6/4/2019	Town Comments	2	
4/8/2019	Town Comments	1	

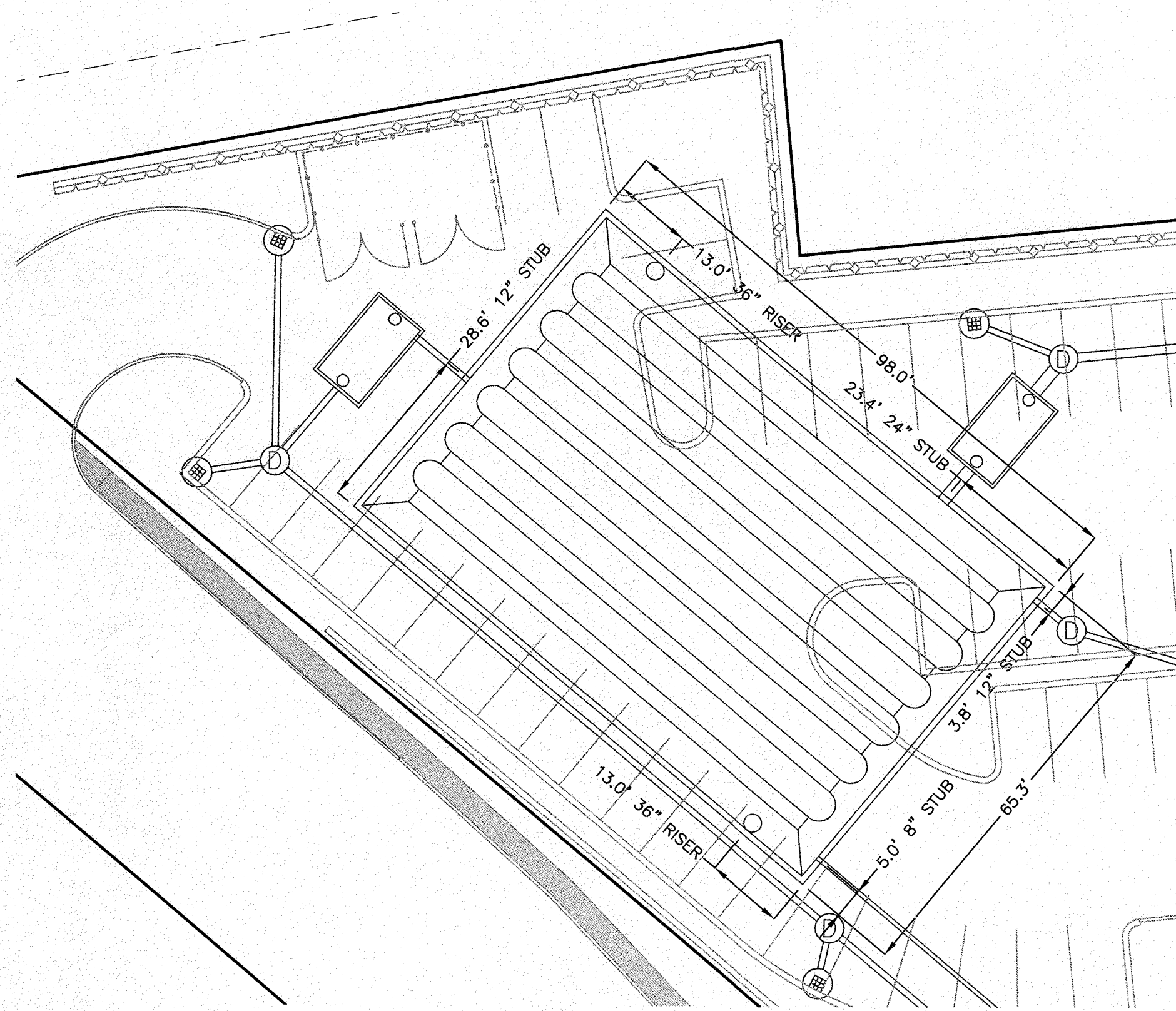
SITE DETAILS PLAN (3 OF 4)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

SCALE: NONE

DRAWING: C8.3

SHEET 13 OF 16

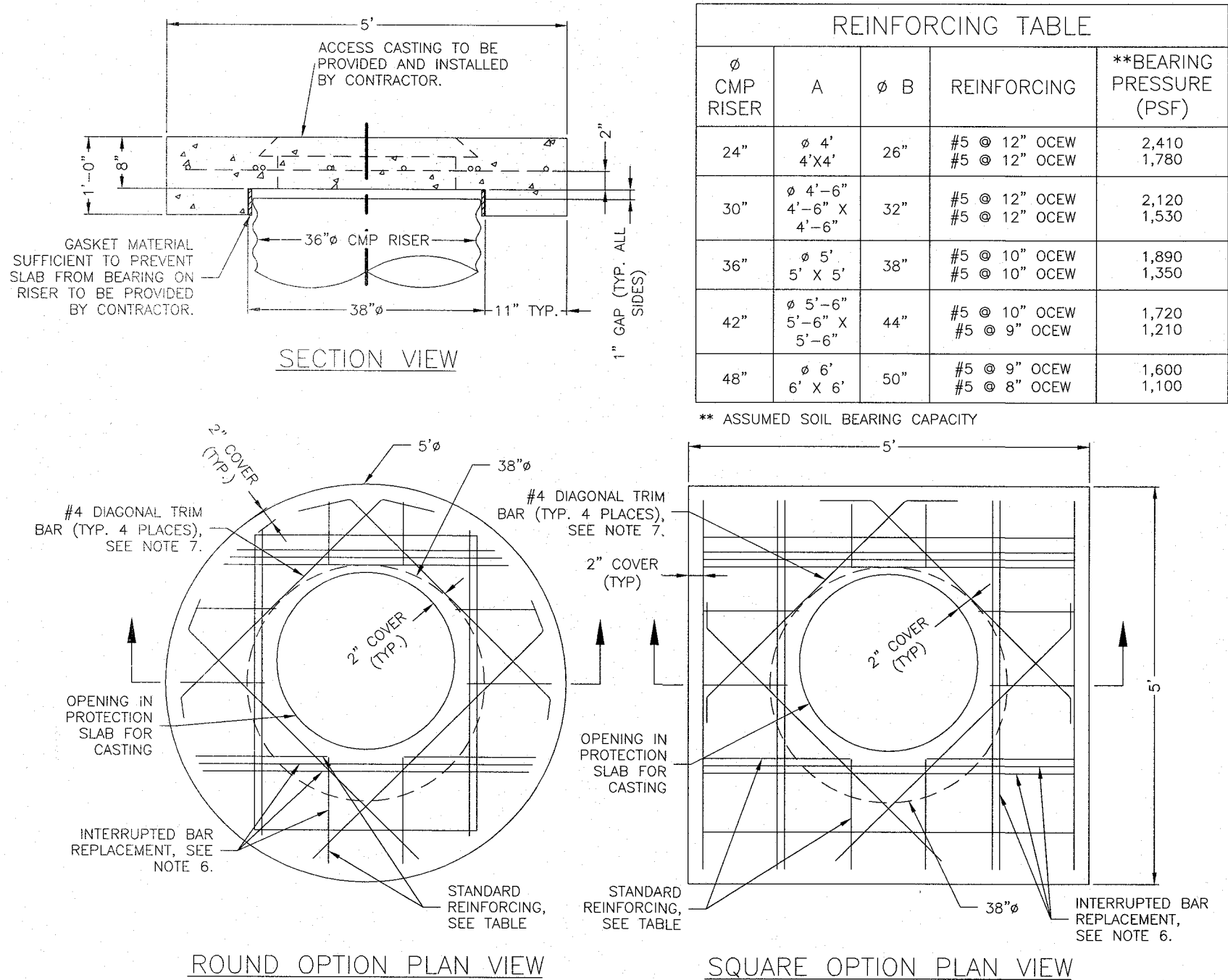
SEPTEMBER 14, 2018



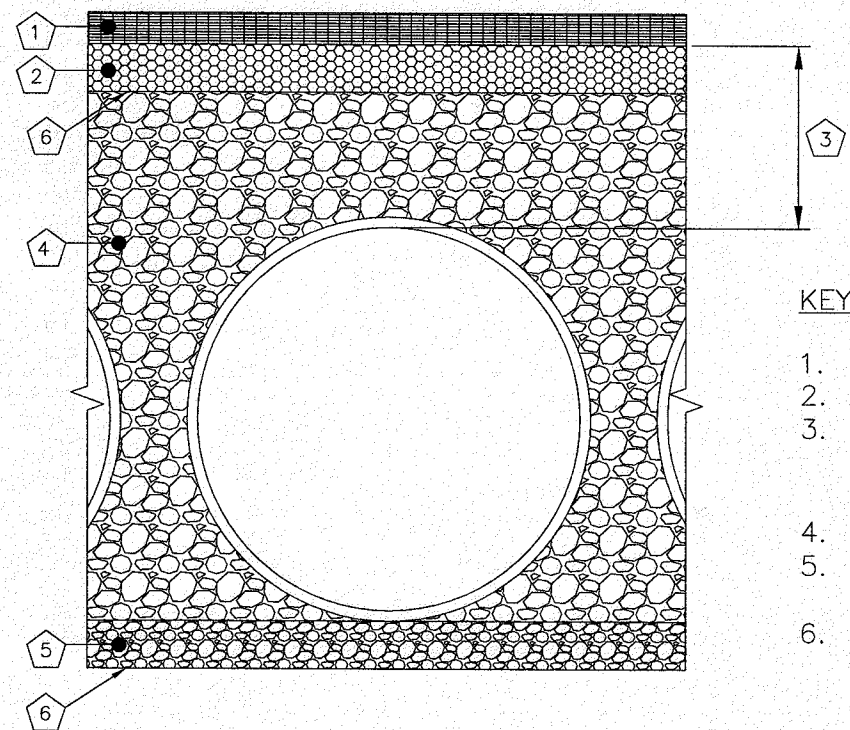
PLAN VIEW
SCALE: 1"=20'

NOTES:

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2 3/4" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN, QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.



MANHOLE CAP
NOT TO SCALE



FOUNDATION/BEDDING PREPARATION

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE 4 INCHES OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL

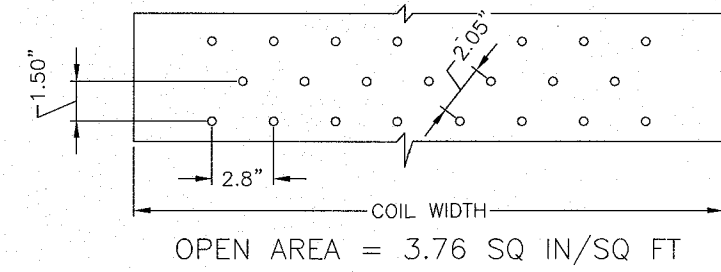
THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGULAR WASHED STONE 3/4" - 2" PARTICLE SIZE. MATERIAL SHALL BE PLACED IN 8"-10" MAXIMUM LIFTS. MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICING, RODDING, AIR-TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS. COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE PROJECT ENGINEER OR HIS REPRESENTATIVE IS SATISFIED WITH THE LEVEL OF COMPACTION. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS OVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY PIPE IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.

EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE PIPE. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAINING BALANCED LOADING ON ALL PIPES IN THE SYSTEM, DURING ALL SUCH OPERATIONS.

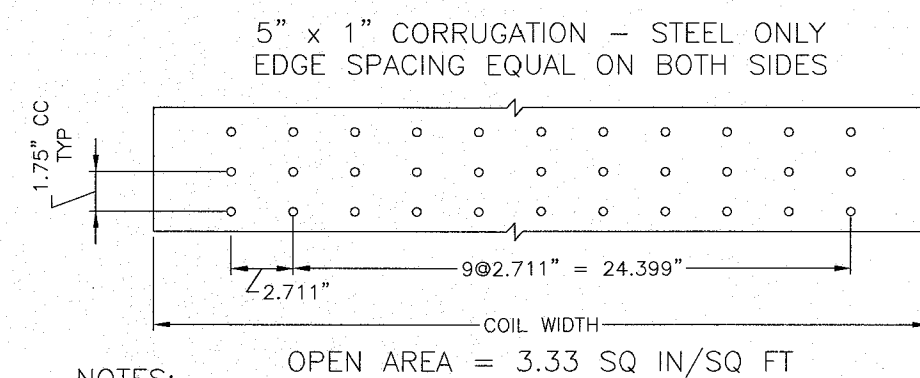
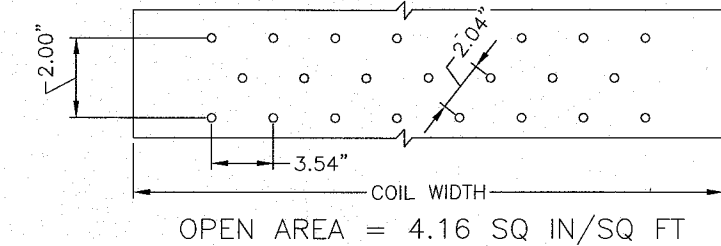
OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. REFER TO TYPICAL BACKFILL DETAIL FOR MATERIAL REQUIRED.

BACKFILL
NOT TO SCALE

2 2/3" x 1/2" CORRUGATION - STEEL AND ALUMINUM CMP
EDGE SPACING EQUAL ON BOTH SIDES



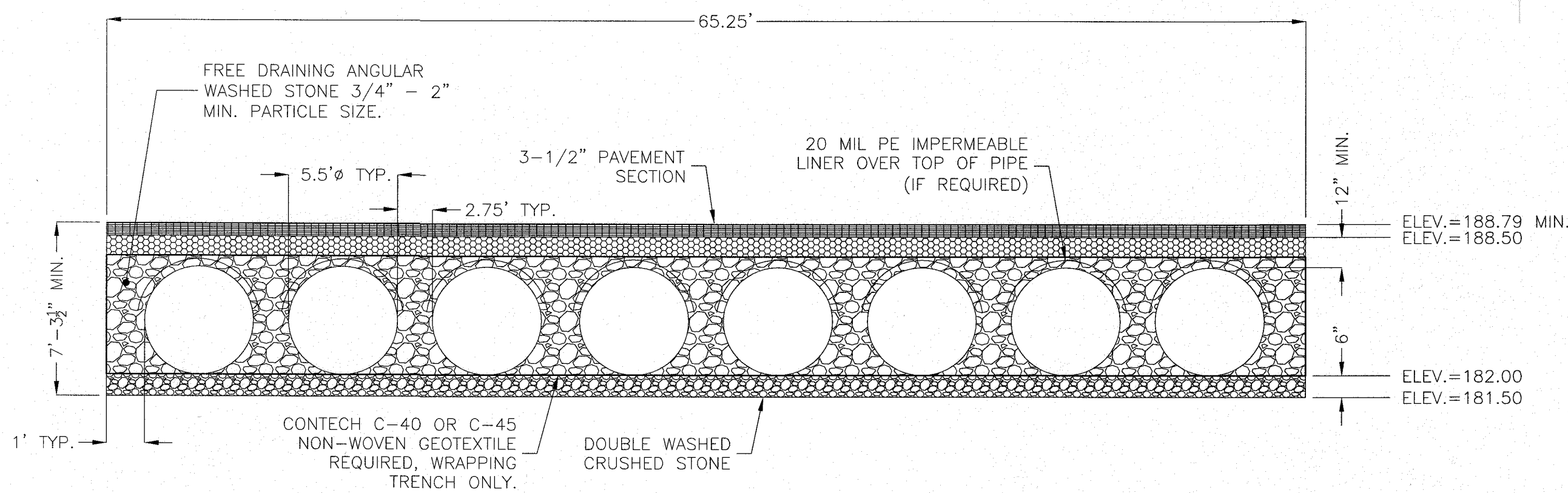
3" x 1" CORRUGATION - STEEL AND ALUMINUM CMP
(COIL PROVIDED FROM CONTECH LANTANA, FL PLANT)



NOTES:

- PERFORATIONS MEET AASHTO AND ASTM SPECIFICATIONS.
- PERFORATION OPEN AREA PER SQUARE FOOT OF PIPE IS BASED ON THE NOMINAL DIAMETER AND LENGTH OF PIPE.
- ALL DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- ALL HOLES Ø3/8".

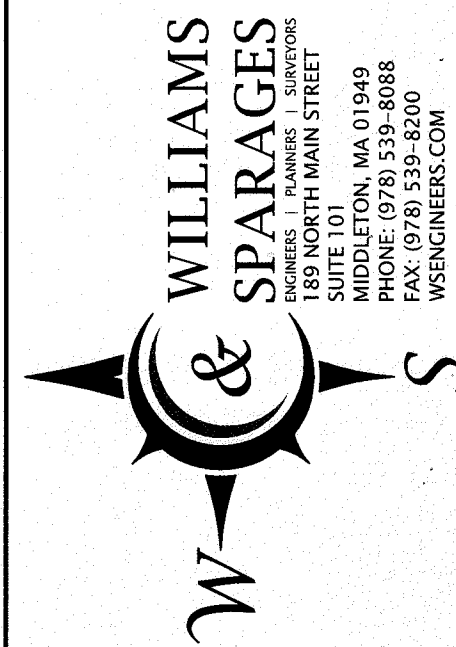
PERFORATION
NOT TO SCALE



NOTE:

- IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

SYSTEM SECTION
NOT TO SCALE

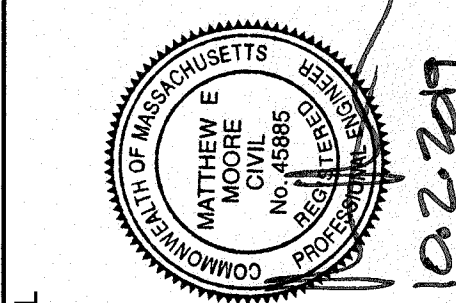


Owner:
DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949

Applicant:
DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48

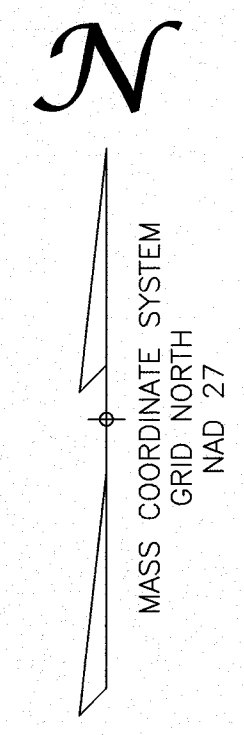
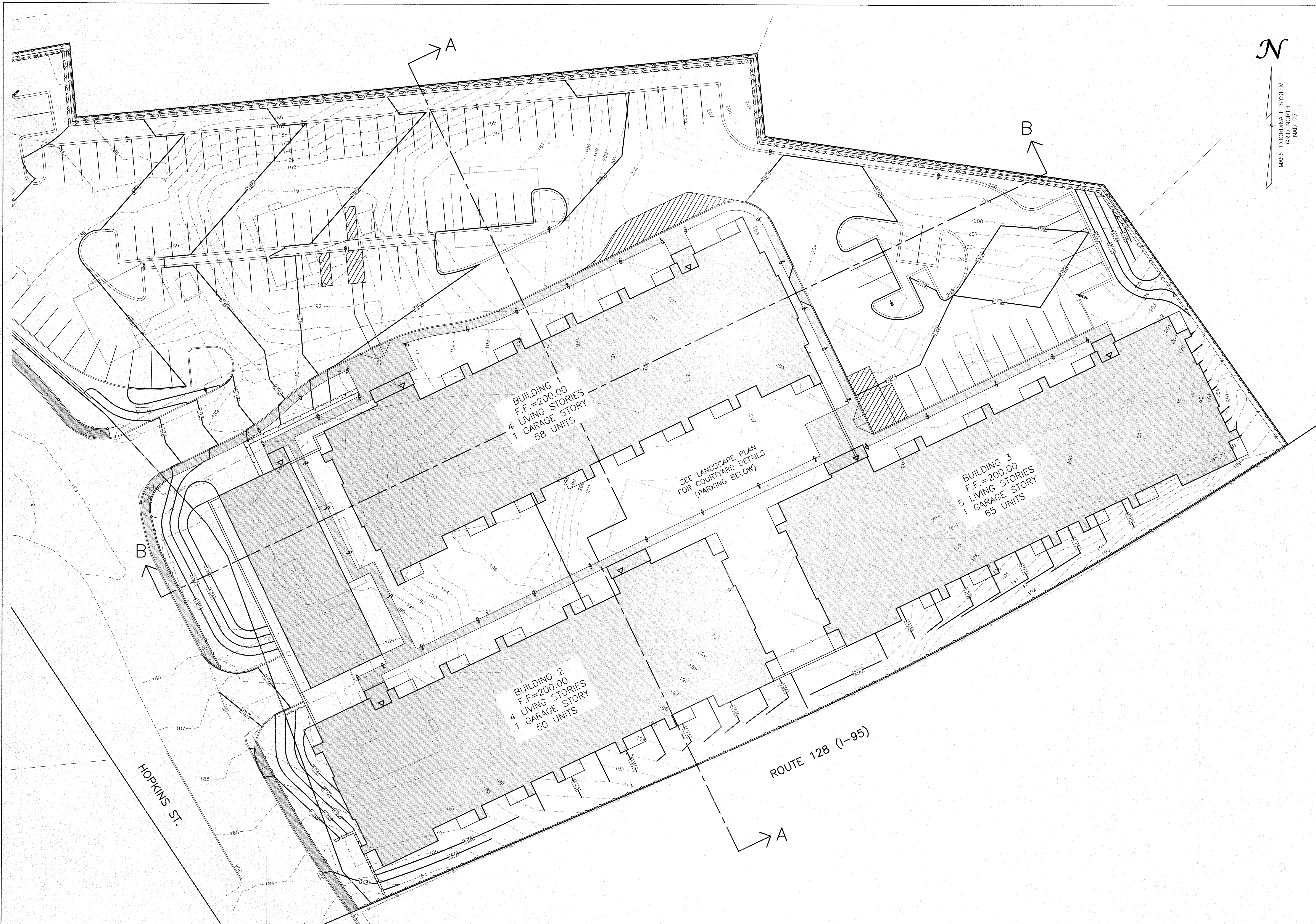
☐ Drawing Issued for Review Only
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☐ Drawing Issued for Construction



SEAL

SITE DETAILS PLAN (4 OF 4)
TARRANT LANE APARTMENTS
0 TARRANT LANE, WAKEFIELD, MA

SCALE: NONE	Curbing	10/2/2019
		6
DRAWING: C8.4	Miscellaneous	9/5/2019
		5
SHEET 14 OF 16	Town Comments	7/5/2019
		4
SEPTEMBER 14, 2018	Town Comments	6/27/2019
		3
	Town Comments	6/4/2019
		2
	Town Comments	4/8/2019
		1



0'

10'

20'

40'

DRAWING: S1.0

SHEET 15 OF 16

10/2/2019

LAYOUT

MAY 29, 2019

SEAL

10/2/2019

0 TARRANT LANE, WAKEFIELD, MA

CROSS SECTIONS - PLAN VIEW

TARRANT LANE

MASSACHUSETTS
COMMONWEALTH
REGISTERED PROFESSIONAL
CIVIL ENGINEER
MATTHEW E. MOORE
No. 45886
EXPIRATION DATE 12/31/2020

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Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48

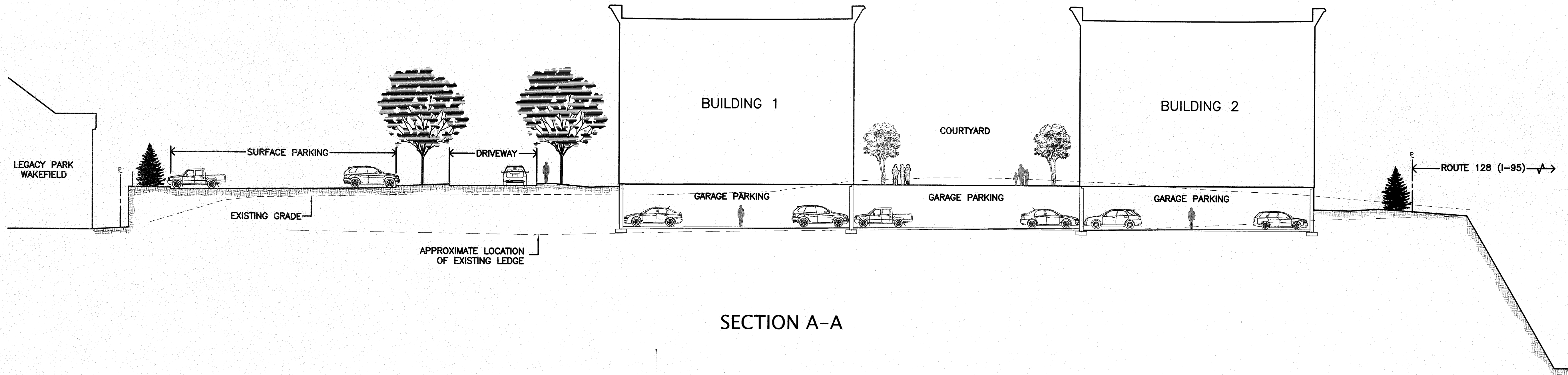
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Middleton, MA 01949

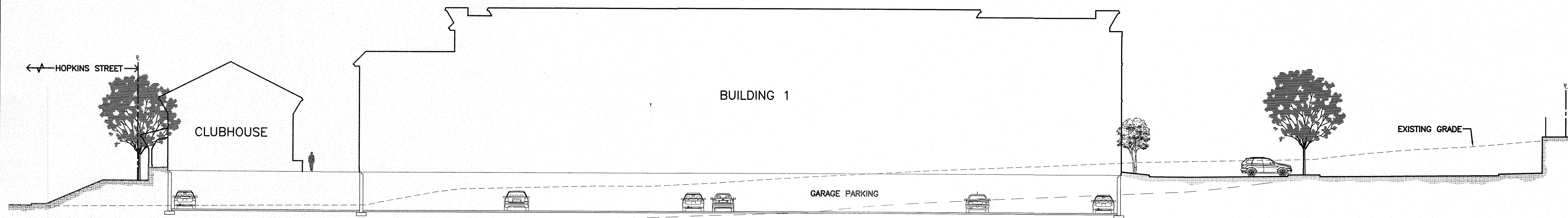
Applicant:
DBS Development Group, LLC
9 Wildwood Road
Middleton, MA 01949

WILLIAMS & SPARAGES
DESIGNED BY
100 MAIN STREET
MIDDLETON, MA 01949
PHONE: (978) 333-3200
FAX: (978) 333-3200
WWW.WSENGINEERS.COM

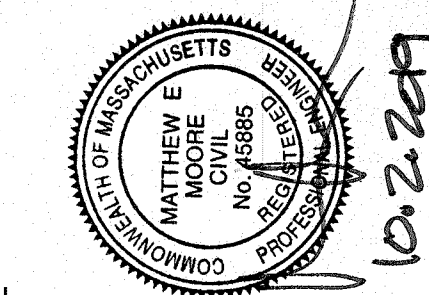
P:\WAKE\0048\Tarrant Lane\Drawings\SitePlan\wakes_01.dwg, 10/2/2019 5:15:56 AM, MEM



SECTION A-A



SECTION B-B



CROSS SECTIONS
TARRANT LANE
0 TARRANT LANE, WAKEFIELD, MA

6	30'	10/2/2019
5	15'	
4	7.5'	
3		
2		
1		

DRAWING: ST.1
SHEET 16 OF 16
MAY 29, 2019

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0048
Drawing File Folder: WAKE48
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