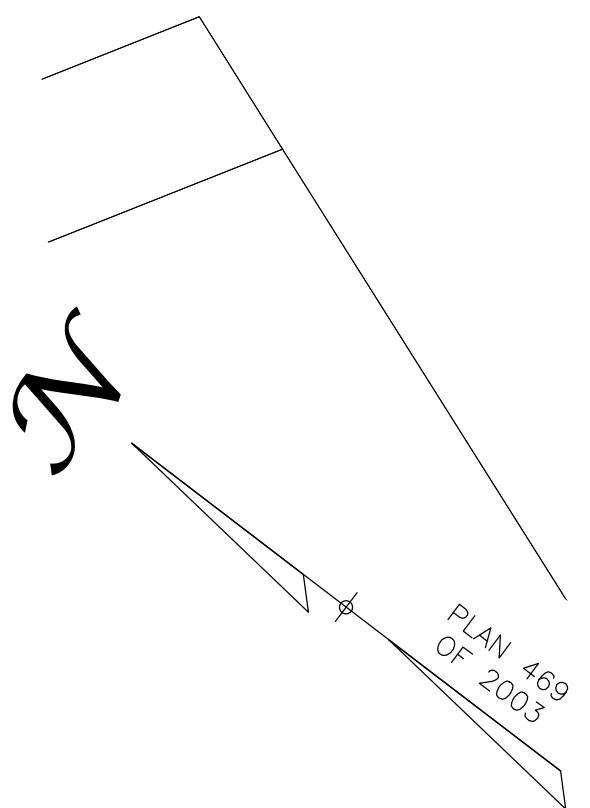


ZONING TABLE SINGLE RESIDENCE (SR)		
DIMENSIONAL CONTROL	REQUIRED/ALLOWED	PROPOSED
MINIMUM LOT AREA	12,000 ft <sup>2</sup>	220,547 ft <sup>2</sup>
MAXIMUM DENSITY	--	--
FRONTAGE & WIDTH	100 ft.	323.00 ft.
FLOOR AREA RATIO	--	--
MINIMUM FRONT SETBACK	20 ft.	0 ft.
MINIMUM SIDE SETBACK	15 ft.	70.5 ft.
MINIMUM REAR SETBACK	25 ft.	353.1 ft.
MAXIMUM NUMBER OF STORIES	3	3
MAXIMUM HEIGHT	35 ft.	< 37 ft.
MAXIMUM BUILDING COVERAGE	30%	5.3%
MINIMUM OPEN AREA	40%	87%
DISTANCE BETWEEN BUILDINGS	1	NA

DIMENSIONAL CONTROL	REQUIRED/ALLOWED	PROPOSED
MINIMUM LOT AREA	60,000 ft <sup>2</sup>	220,547 ft <sup>2</sup>
MAXIMUM DENSITY	2	--
FRONTAGE & WIDTH	180 ft.	323.00 ft.
FLOOR AREA RATIO	--	--
MINIMUM FRONT SETBACK	30 ft. <sup>3</sup>	9.1 ft.
MINIMUM SIDE SETBACK	30 ft. <sup>3</sup>	68.4 ft.
MINIMUM REAR SETBACK	30 ft. <sup>3</sup>	353.1 ft.
MAXIMUM NUMBER OF STORIES	5	3
MAXIMUM HEIGHT	50 ft.	< 37 ft.
MAXIMUM BUILDING COVERAGE	35% <sup>4</sup>	5.3%
MINIMUM OPEN AREA	30%	87%
DISTANCE BETWEEN BUILDINGS	50 <sup>5</sup>	NA

1. THERE IS NO MINIMUM BUILDING SEPARATION BETWEEN BUILDINGS ON THE SAME LOT IN THE SR AND SSR ZONING DISTRICTS. ADDITIONALLY, ALL DWELLINGS ARE NECESSARY STRUCTURES OTHER THAN FENCES, TO BE CONSTRUCTED ON LOT IN THE SR AND SSR ZONING DISTRICTS. MUST MAINTAIN A MINIMUM SEPARATION DISTANCE OF 20 FEET FROM ANY DWELLING ON ANY ADJUTING PARCEL. THIS REGULATION SHALL NOT PERMIT THE REDUCTION OF ANY SETBACK REQUIREMENTS BUT MAY INCREASE THOSE REQUIREMENTS.
2. SEE § 190-31 FOR COMPLETE REQUIREMENTS FOR MULTIFAMILY AND ATTACHED DWELLINGS.
3. OR HEIGHT OF BUILDING, WHICHEVER IS GREATER.
4. COVERED PARKING GARAGES SHALL NOT COUNT AS PART OF BUILDING COVERAGE, EXCEPT THAT BUILDING COVERAGE INCLUDING PARKING GARAGES SHALL NOT EXCEED 70%.
5. OR HEIGHT OF TALLER BUILDING, WHICHEVER IS GREATER. (SEE § 190-31 FOR REQUIREMENTS FOR INDIVIDUAL ATTACHED DWELLINGS.)

1. EXISTING TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES, LLC CONDUCTED IN OCTOBER 2020.
2. ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD83).
3. UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES, LLC AND FROM VARIOUS PLANS. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES DEPICTED OR NOT DEPICTED AND SHOULD BE CONSIDERED APPROXIMATE. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
4. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
5. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
6. CONTRACTOR TO CALL DISGAFS FLOW TO CONSTRUCTION (811), TO UPDATE THE TICKETS PRIOR TO TICKET VALIDATION. DISGAFS TICKETS ARE VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
7. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
8. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
9. THE APPLICANT SHALL COORDINATE WITH THE WAKEFIELD WATER DEPARTMENT TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
10. VERIFY ROOF DRAIN LOCATIONS WITH ARCHITECTURAL PLANS.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ABUTTING PROPERTIES FROM DAMAGE IN RELATION TO ALL PROPOSED IS SITE WORK.
12. THE FURNISHING OF THE DRAIN SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH 780 CMR 5405 (THE MASSACHUSETTS STATE BUILDING CODE).
13. PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A OR ZONE AE) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0314E, EFFECTIVE DATE: JUNE 4, 2010.
14. PORTION OF PROPERTY LIES WITHIN A TRIBUTARY TO A SURFACE WATER SUPPLY (ZONE A).



**Owner:**  
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And Dana Lopez  
26 Venditto Road  
Revere, MA 02151

**Applicant:**  
Raymond Nickerson  
And Dana Lopez  
26 Venditto Road  
Revere, MA 02151

Designed By: MEM  
Drawn By: MEM  
Reviewed By: CPS  
Project Manager: CPS  
Job File Number: WAKE-0070  
Drawing File Folder: WAKE70

<input checked="" type="checkbox"/>	Drawing Issued for Review
<input type="checkbox"/>	Drawing Issued for Permit
<input type="checkbox"/>	Drawing Issued for Construction

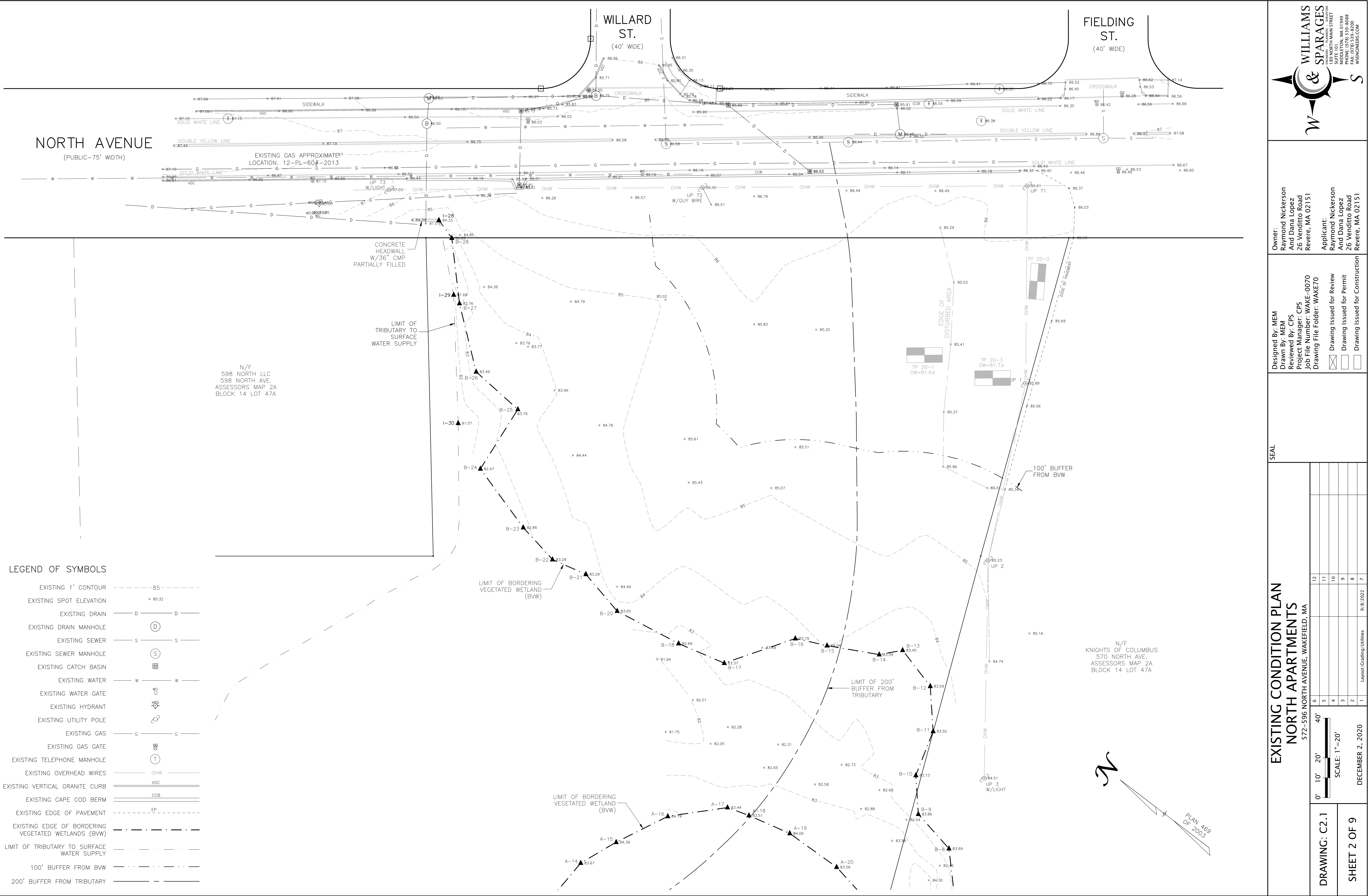
**LOCATION PLAN**  
**NORTH APARTMENTS**  
572-596 NORTH AVENUE, WAKEFIELD, MA

[illegible]

DECEMBER 2, 2020

## DRAWING: C1.1

SHEET 1 OF 9



**WILLIAMS & SPARAGES**  
159 NORTH MAIN STREET  
SUITE 101, WAKEFIELD, MA 01840  
PHONE: (978) 539-5088  
FAX: (978) 539-5200  
WSENGINEERS.COM

Owner:  
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26 Venditto Road  
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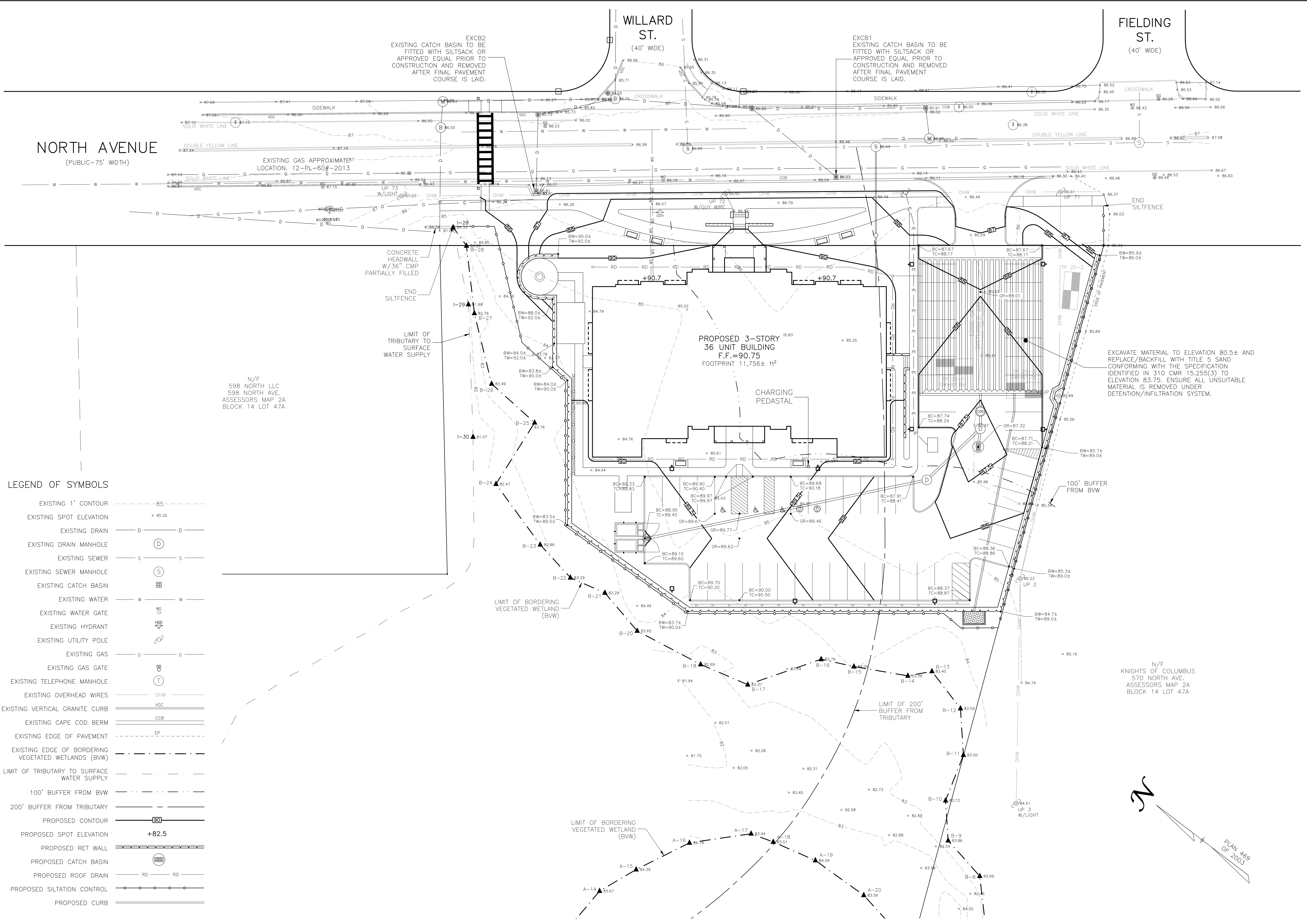
☒ Drawing Issued for Review  
☐ Drawing Issued for Permit  
☐ Drawing Issued for Construction

SEAL

EXISTING CONDITION PLAN NORTH APARTMENTS 572-596 NORTH AVENUE, WAKEFIELD, MA	12	11	10	9	8	7
	6	5	4	3	2	1
	9/8/2022					
	Layout/Grading/Utilities					
	DECEMBER 2, 2020					
	PLAN 469 OF 2003					

DRAWING: C2.1

SHEET 2 OF 9



LEGEND OF SYMBOLS

EXISTING 1' CONTOUR	---
EXISTING SPOT ELEVATION	x 85.32
EXISTING DRAIN	D
EXISTING DRAIN MANHOLE	D
EXISTING SEWER	S
EXISTING SEWER MANHOLE	S
EXISTING CATCH BASIN	W
EXISTING WATER	W
EXISTING WATER GATE	W
EXISTING HYDRANT	H
EXISTING UTILITY POLE	U
EXISTING GAS	G
EXISTING GAS GATE	G
EXISTING TELEPHONE MANHOLE	T
EXISTING OVERHEAD WIRES	OH
EXISTING VERTICAL GRANITE CURB	V
EXISTING CAPE COD BERM	C
EXISTING EDGE OF PAVEMENT	E
EXISTING EDGE OF BORDERING VEGETATED WETLANDS (BVW)	B
LIMIT OF TRIBUTARY TO SURFACE WATER SUPPLY	L
100' BUFFER FROM BVW	B
200' BUFFER FROM TRIBUTARY	T
PROPOSED CONTOUR	80
PROPOSED SPOT ELEVATION	+82.5
PROPOSED RET WALL	R
PROPOSED CATCH BASIN	C
PROPOSED ROOF DRAIN	R
PROPOSED SILTATION CONTROL	S
PROPOSED CURB	C

**WILLIAMS & SPARAGES**  
189 NORTH MAIN STREET  
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Project Manager: CPS  
Job File Number: WAKE-0070  
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☐ Drawing Issued for Construction

SEAL

**GRADING & DRAINAGE PLAN**  
**NORTH APARTMENTS**  
572-596 NORTH AVENUE, WAKEFIELD, MA

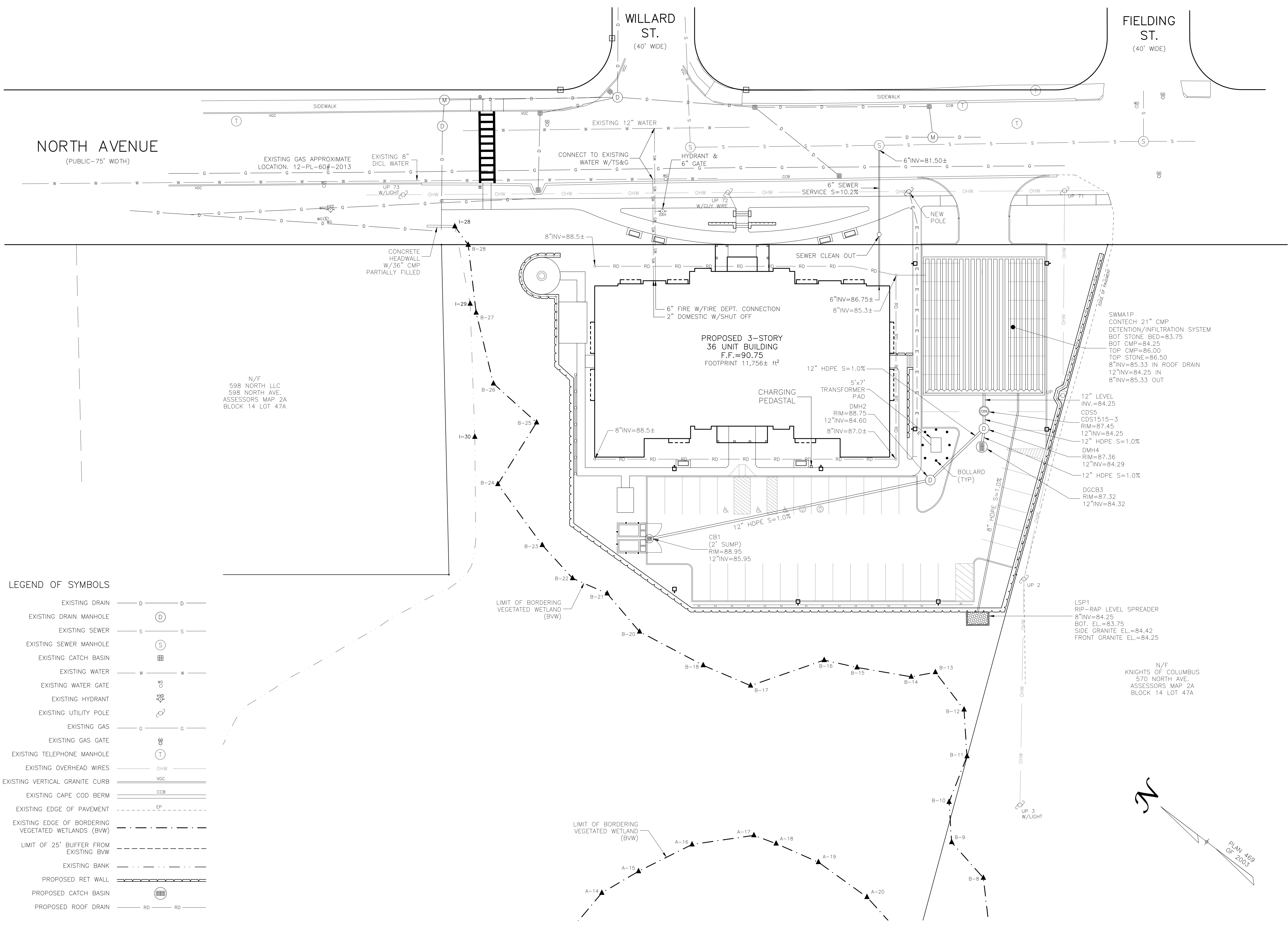
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6	5	4	3	2	1

0' 10' 20' 40'  
SCALE: 1"=20'  
DECEMBER 2, 2020

DRAWING: C3.1

SHEET 3 OF 9





Owner:  
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And Dana Lopez  
26 Venditto Road  
Revere, MA 02151

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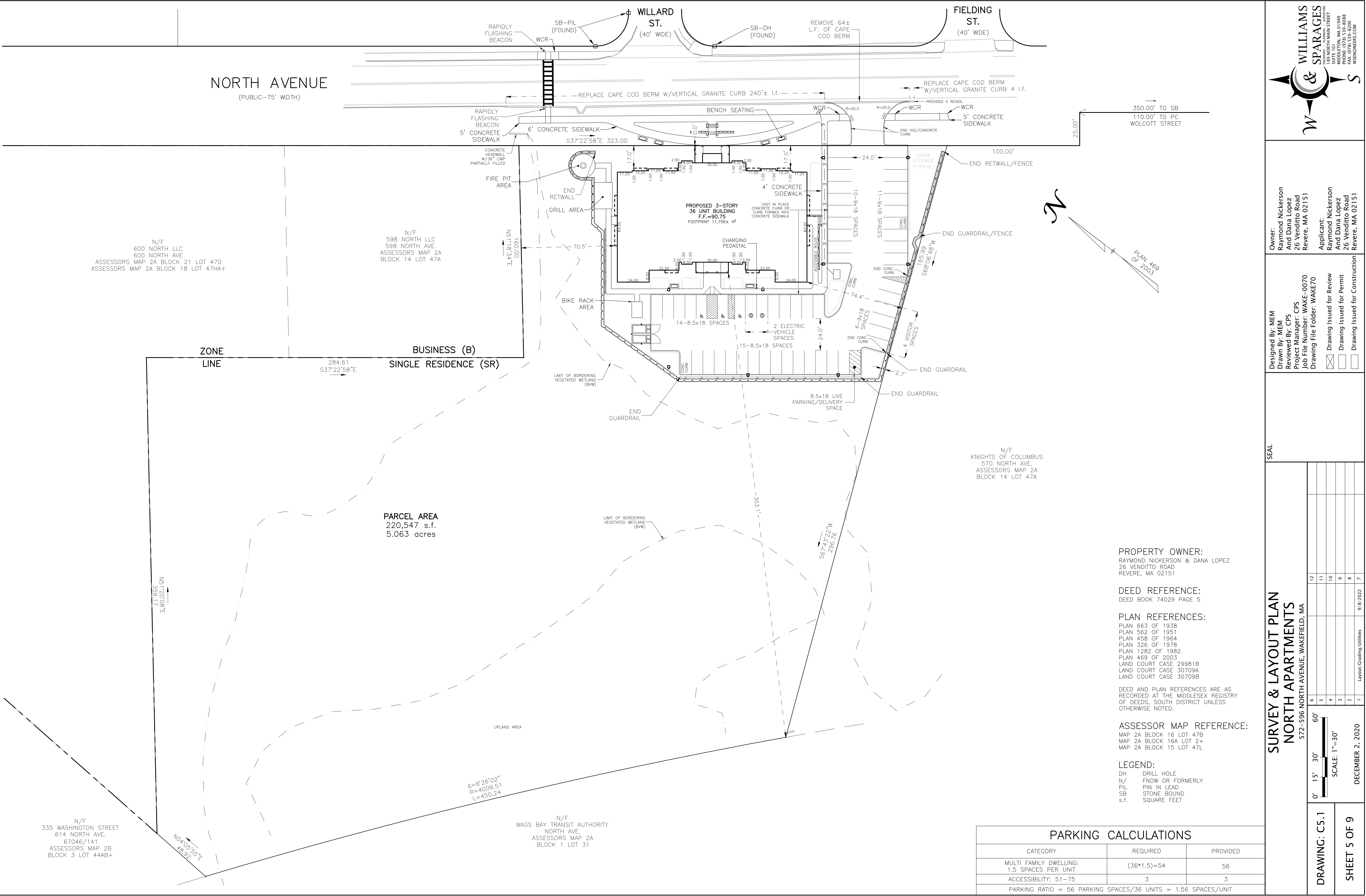
SEAL

UTILITY PLAN  
NORTH APARTMENTS  
572-596 NORTH AVENUE, WAKEFIELD, MA

12	11	10	9	8	7
6	5	4	3	2	1

0' 10' 20' 40'  
SCALE: 1"=20'  
DECEMBER 2, 2020

DRAWING: C4.1  
SHEET 4 OF 9



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**Designed By:** MEM  
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**Reviewed By:** CPS  
**Project Manager:** CPS  
**Job File Number:** WAKE-0070  
**Drawing File Folder:** WAKE70

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**SEAL**

12	11	10	9	8	7
6	5	4	3	2	1

Layout/Grading/Utilities

**SURVEY & LAYOUT PLAN**  
**NORTH APARTMENTS**  
572-596 NORTH AVENUE, WAKEFIELD, MA

**DRAWING: C5.1**

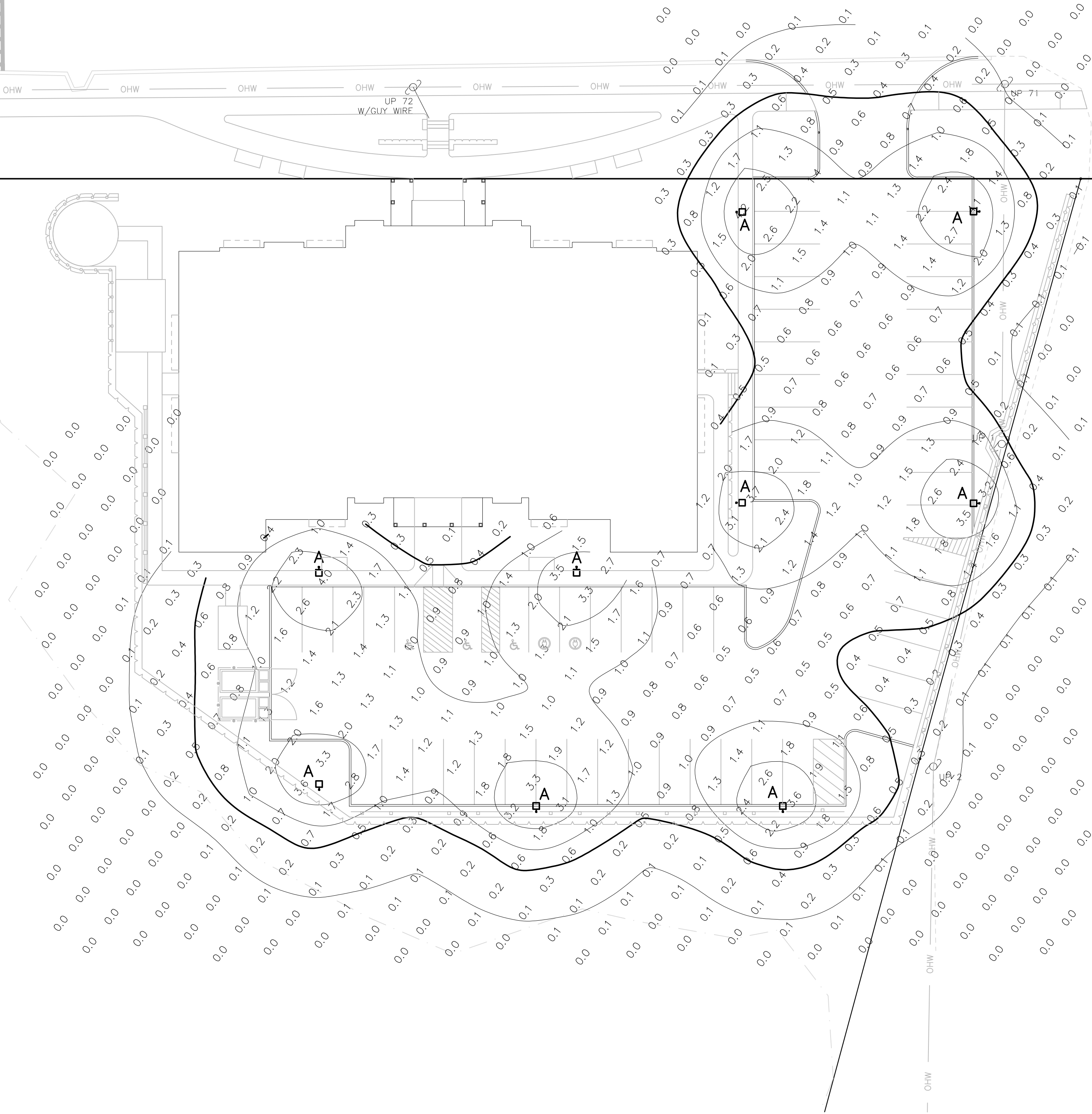
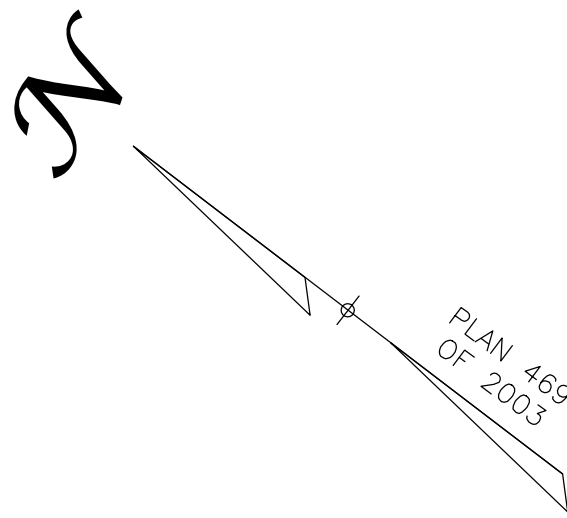
**SHEET 5 OF 9**

DECEMBER 2, 2020

NORTH AVENUE  
(PUBLIC—75' WIDTH)

WILLARD  
ST.  
(40' WIDE)

FIELDING  
ST.  
(40' WIDE)

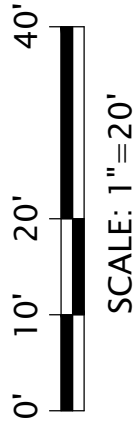


- NOTES:
1. SECURITY LIGHTING TO BE DETERMINED.
  2. ILLUMINANCE VALUES CREATED FROM MANUFACTURERS PHOTOMETRIC DATA.
  3. ILLUMINANCE VALUES SHOWN REPRESENT MAINTAINED HORIZONTAL FOOTCANDLES AT GROUND LEVEL.
  4. FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION, EXISTING LIGHT SOURCES, SLOPING GRADE OR EXISTING OR PROPOSED THREE DIMENSIONAL OBJECTS.

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QUANTITY	CATALOG NUMBER HADCO/BREX	DESCRIPTION	LAMP	TILT	LLF	CANDELA FILE
⬜	A	9	HADCO PIMA SERIES LED CXFxx48—G2—4W3—16 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE IV OPTICS 15" MOUNTING HEIGHT	3000K 4964 LUMENS PER LAMP	0°	0.85	CXFxx48—G2—4W3—16.ies

PHOTOMETRIC PLAN  
NORTH APARTMENTS

572-596 NORTH AVENUE, WAKEFIELD, MA



SCALE: 1"=20'

DECEMBER 2, 2020

DRAWING: C6.1

SHEET 6 OF 9

SEAL

Designed By: MEM  
Drawn By: MEM  
Reviewed By: CPS  
Project Manager: CPS  
Job File Number: WAKE-0070  
Drawing File Folder: WAKE70

☒ Drawing Issued for Review  
☐ Drawing Issued for Permit  
☐ Drawing Issued for Construction

Owner:  
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And Dana Lopez  
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Revere, MA 02151

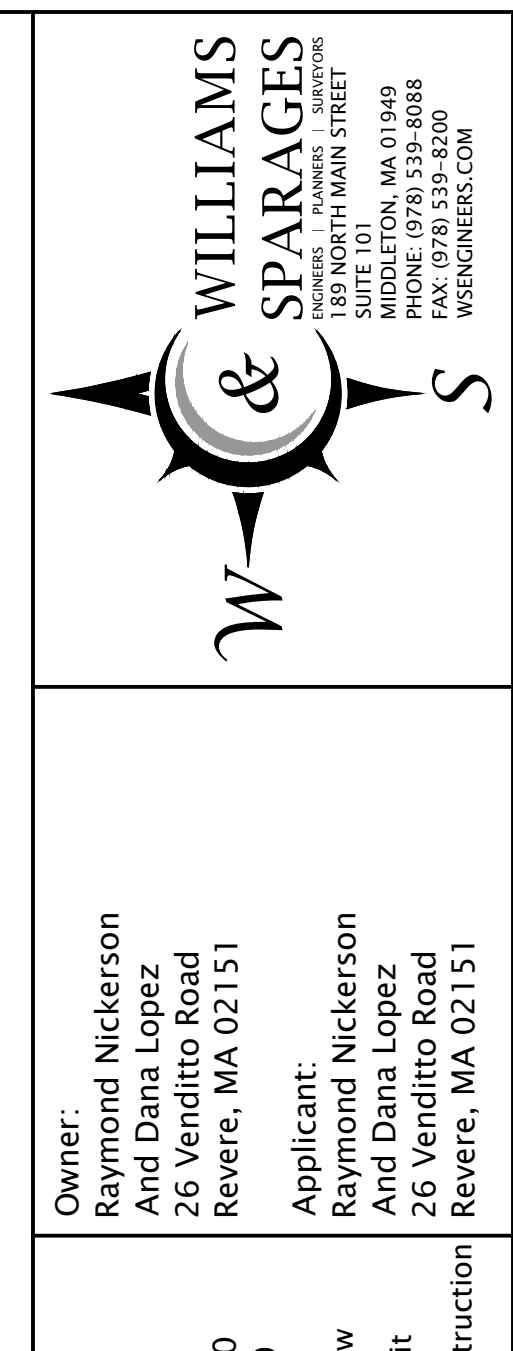
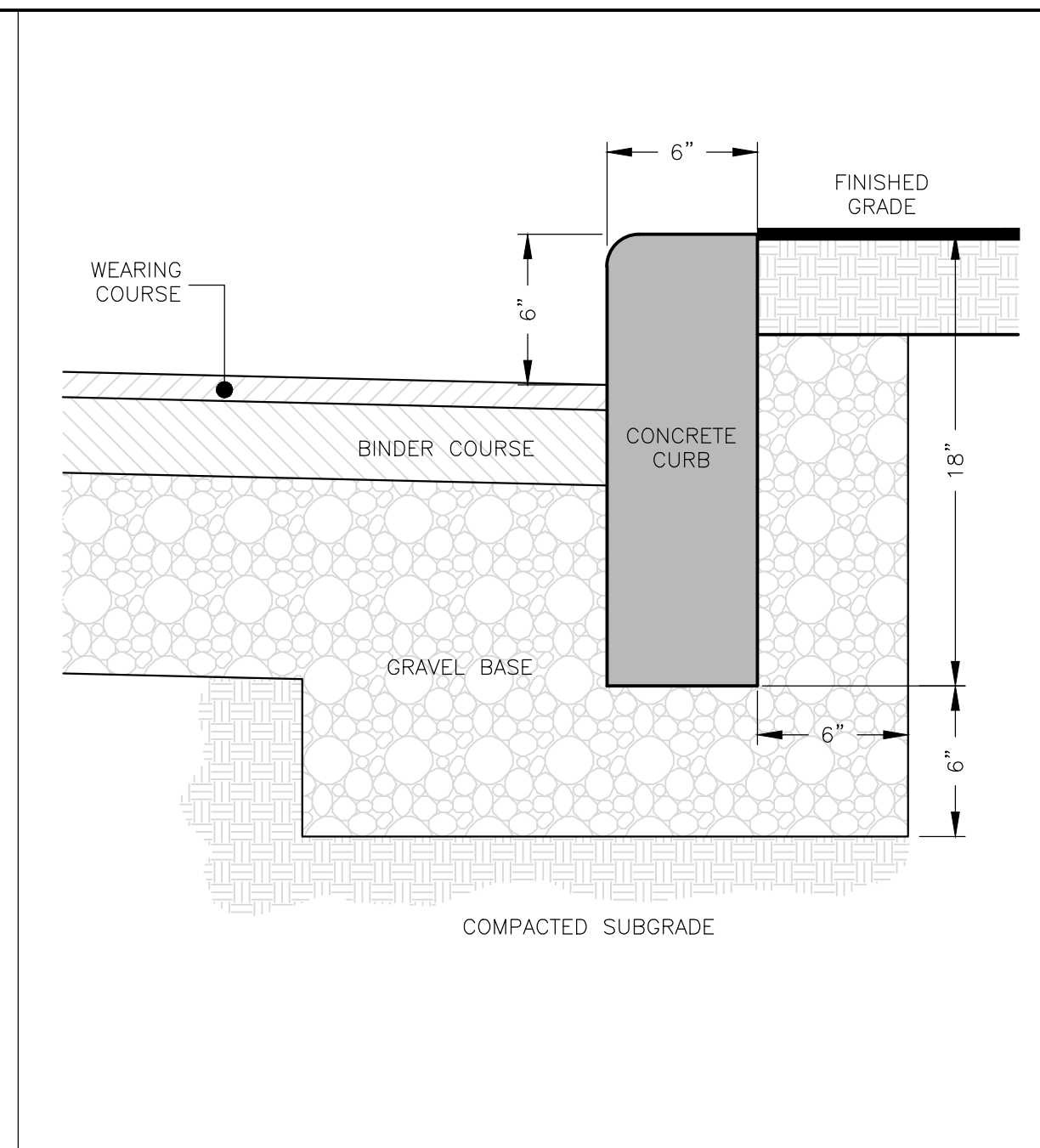
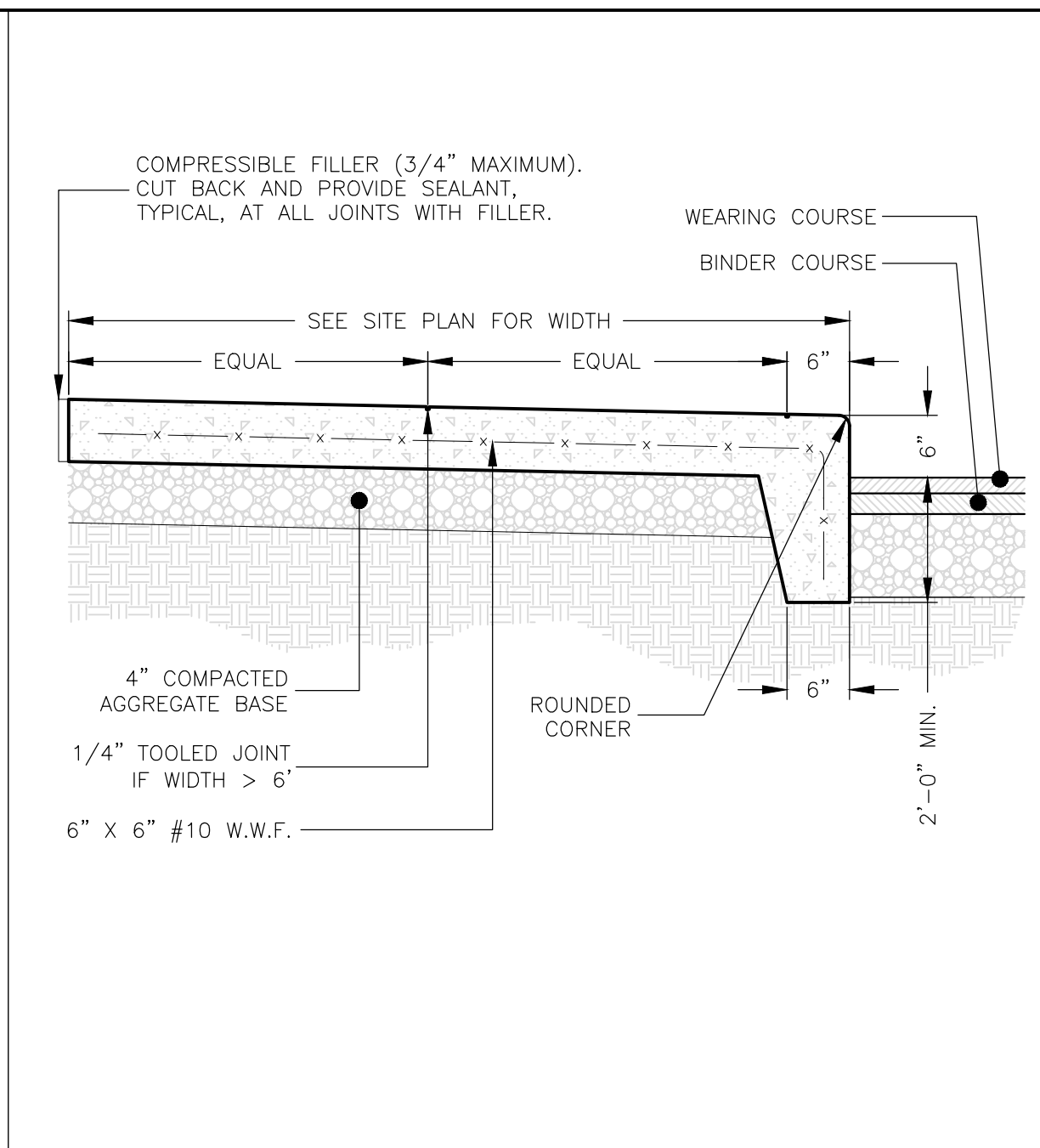
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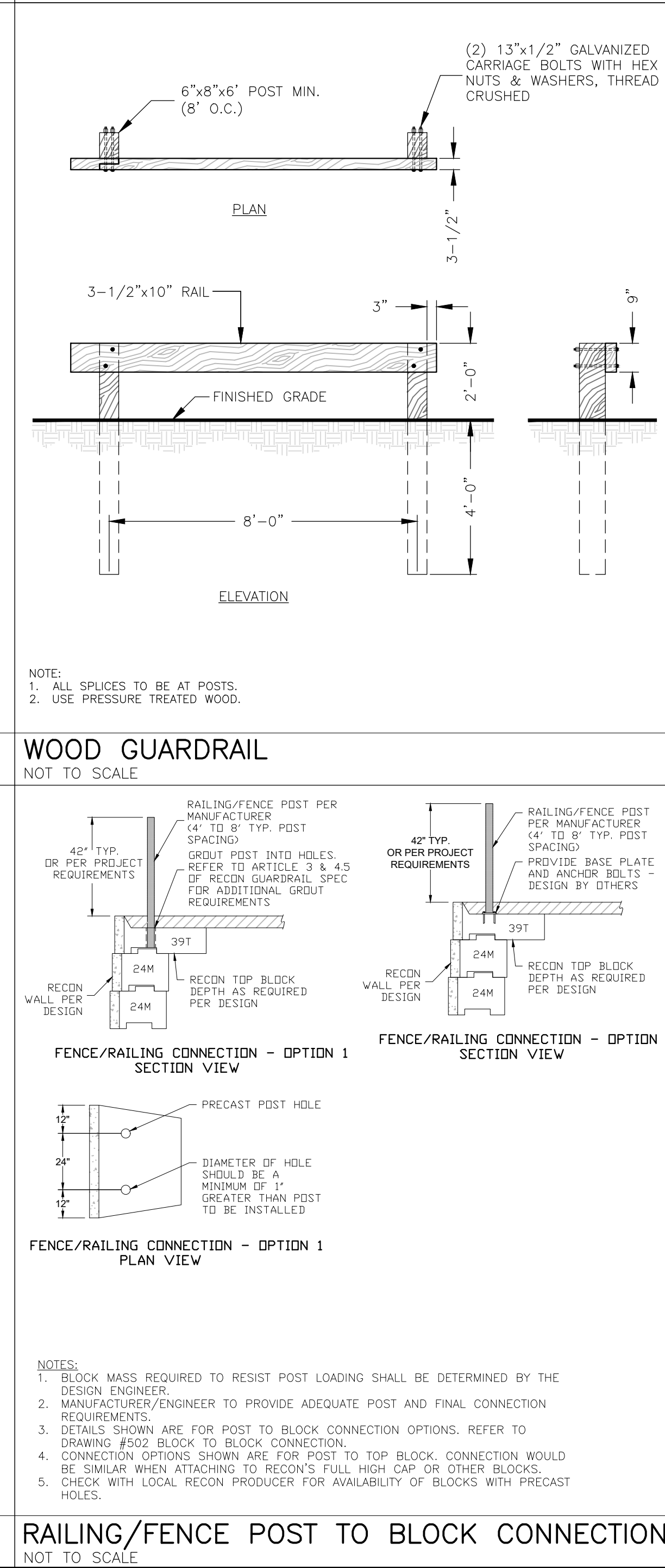
WILLIAMS  
&  
SPARAGES  
ENGINEERS  
SUITE 100  
189 NORTH MAIN STREET  
REVERE, MA 02151  
PHONE: (978) 539-8088  
FAX: (978) 539-8200  
WSENGINEERS.COM



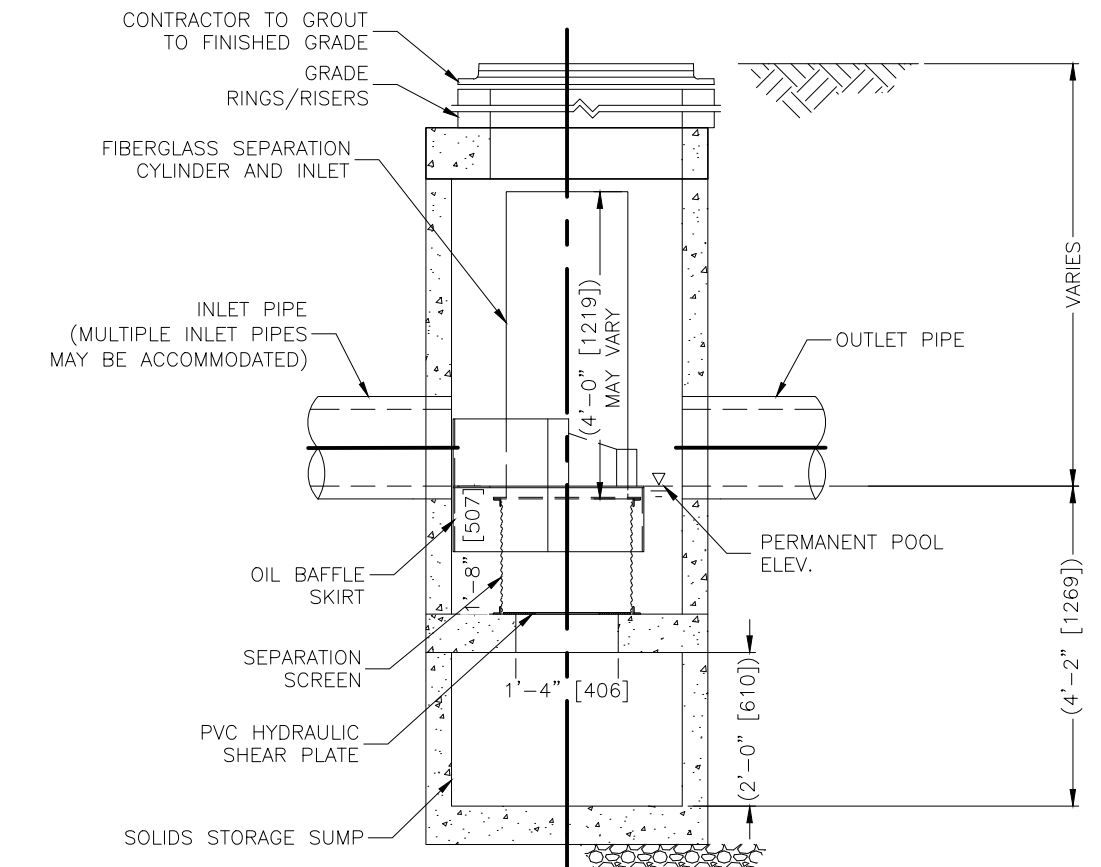
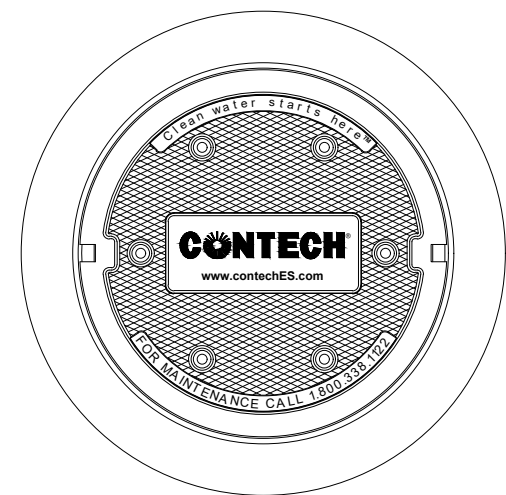
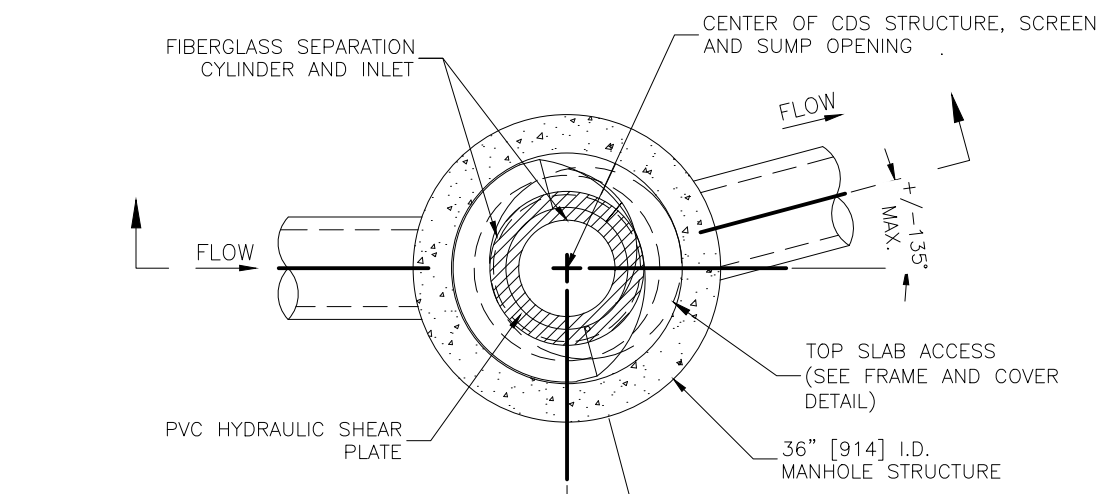




SEWER SERVICE CLEANOUT  
NOT TO SCALE

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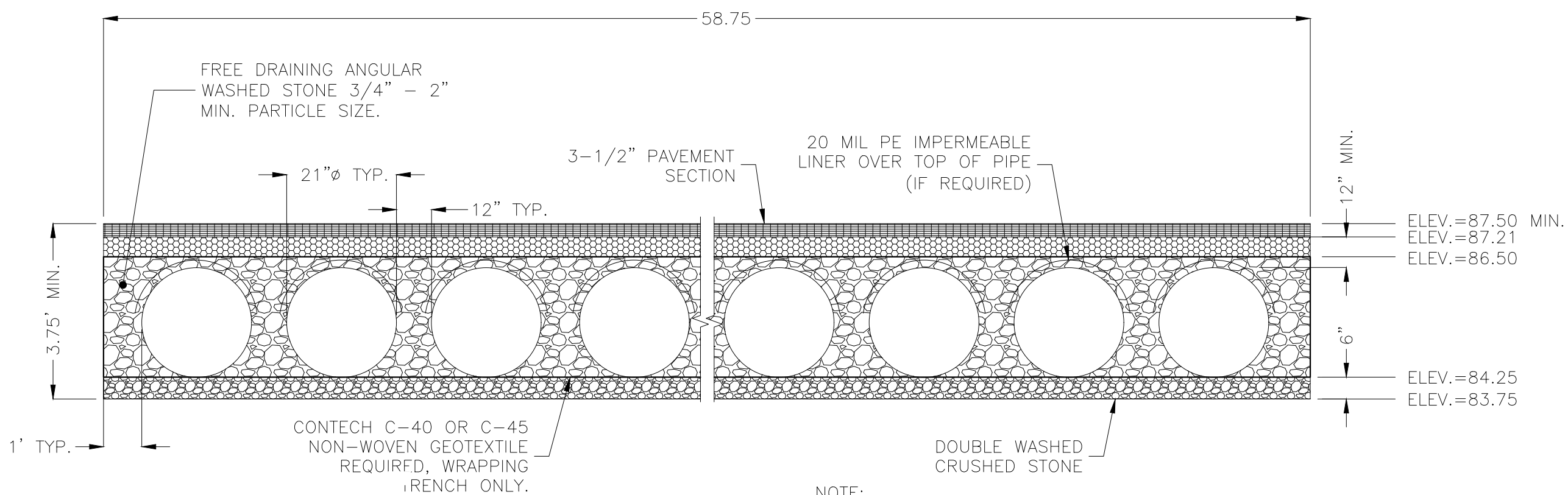




CONTECH CDS 1515-3-C  
NOT TO SCALE

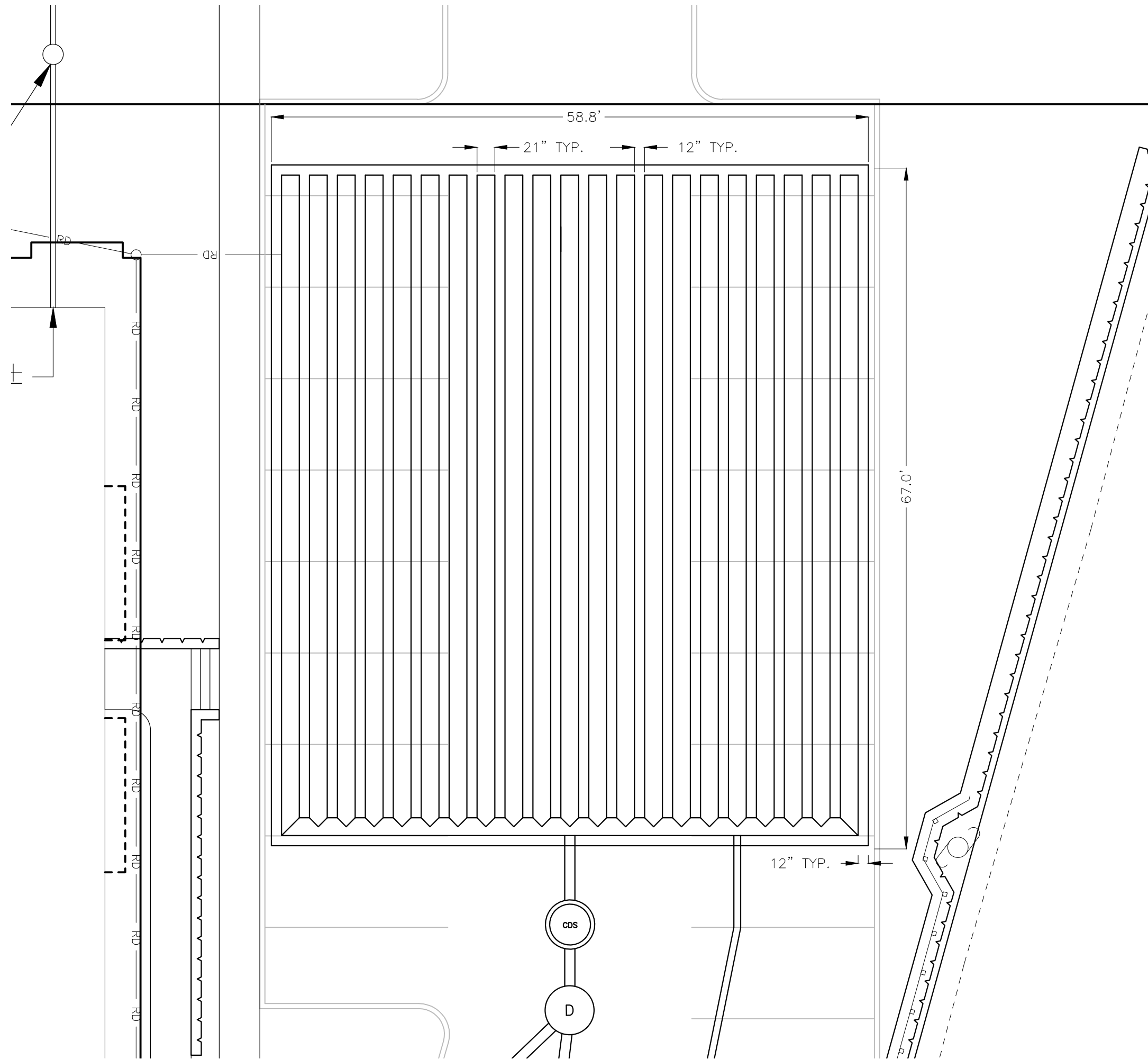
- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.ContechES.com](http://www.ContechES.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
  - IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
  - CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLotation PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

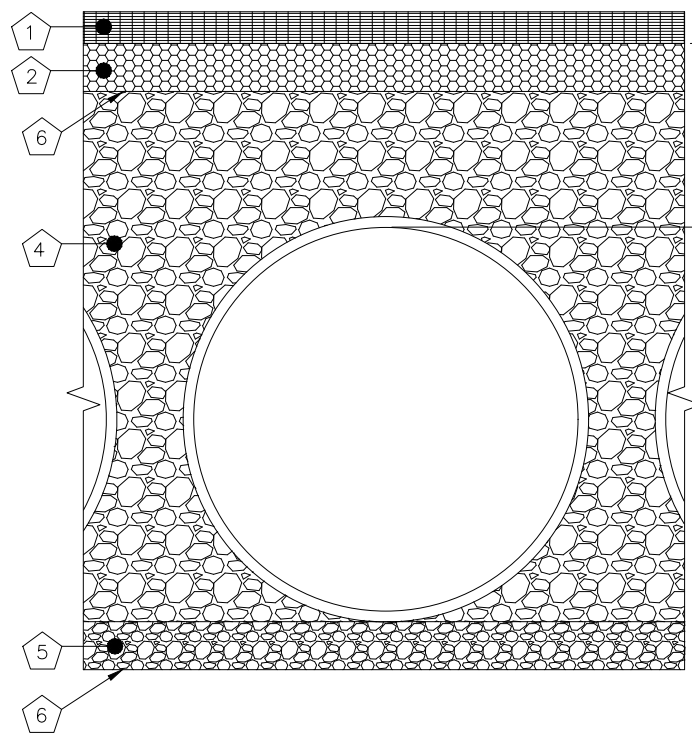


NOTE:

- IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.



PLAN VIEW  
SCALE: 1"=10'



FOUNDATION/BEDDING PREPARATION

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE 4 INCHES OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

**BACKFILL**

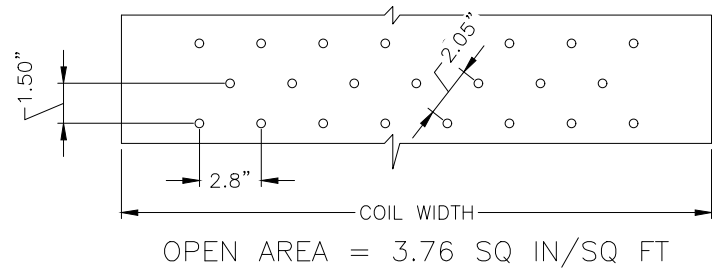
THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGULAR WASHED STONE 3/4" - 2" PARTICLE SIZE. MATERIAL SHALL BE PLACED IN 8"-10" MAXIMUM LIFTS. MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICING, RODDING, AIR-TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS. COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE PROJECT ENGINEER OR HIS REPRESENTATIVE IS SATISFIED WITH THE LEVEL OF COMPACTION. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS OVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY PIPE IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.

EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE PIPE. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAINING BALANCED LOADING ON ALL PIPES IN THE SYSTEM, DURING ALL SUCH OPERATIONS.

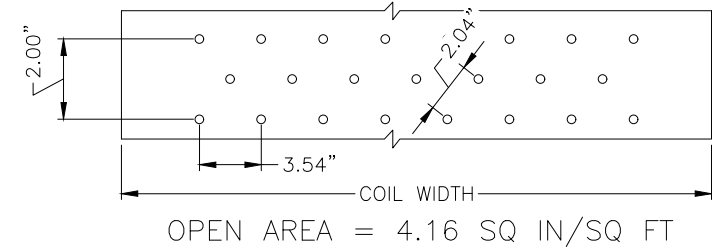
OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. REFER TO TYPICAL BACKFILL DETAIL FOR MATERIAL REQUIRED.

BACKFILL  
NOT TO SCALE

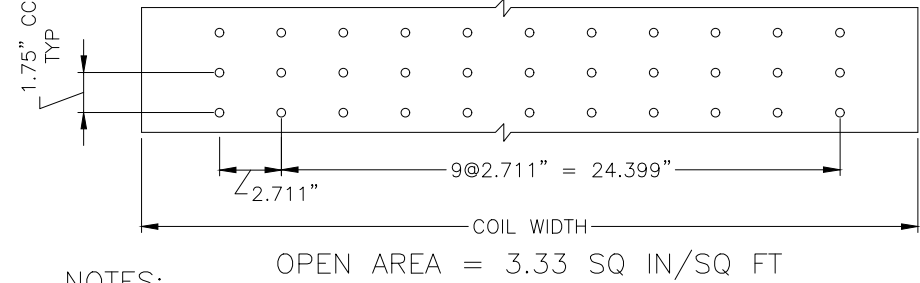
2 2/3" x 1/2" CORRUGATION - STEEL AND ALUMINUM CMP  
EDGE SPACING EQUAL ON BOTH SIDES



3" x 1" CORRUGATION - STEEL AND ALUMINUM CMP  
(COIL PROVIDED FROM CONTECH LANTANA, FL PLANT)



5" x 1" CORRUGATION - STEEL ONLY  
EDGE SPACING EQUAL ON BOTH SIDES



NOTES:

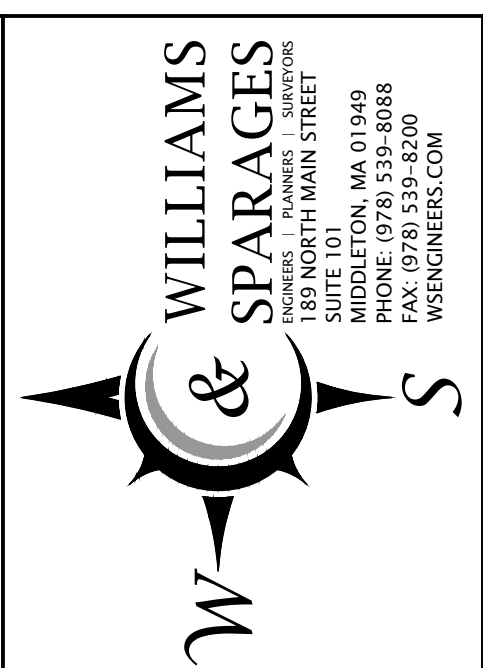
- PERFORATIONS MEET AASHTO AND ASTM SPECIFICATIONS.
- PERFORATION OPEN AREA PER SQUARE FOOT OF PIPE IS BASED ON THE NOMINAL DIAMETER AND LENGTH OF PIPE.
- ALL DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- ALL HOLES 3/8".

PERFORATION  
NOT TO SCALE

CONSTRUCTION DETAILS PLAN  
NORTH APARTMENTS

572-596 NORTH AVE, WAKEFIELD, MA

SCALE: AS SHOWN	DRAWING: C7.3	SHEET 9 OF 9	DECEMBER 2, 2020	LAYOUT/Grading/Utilities	9/8/2022	7	8	9	10	11	12



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