



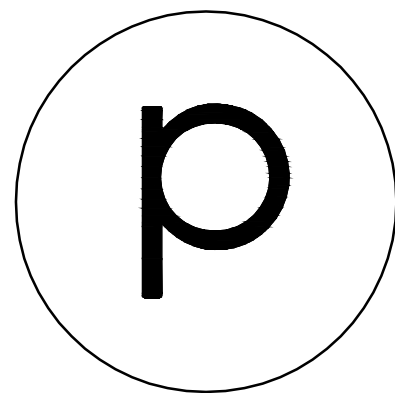
596 North Avenue Wakefield, MA

Town of Wakefield Zoning Board of Appeals
March 9, 2022









phoenix
ARCHITECTS

PETER L. SANDORSE, AIA
WAKEFIELD, MA
781.246.0988

NOTE:
ALL DIMENSIONS TO BE FIELD
VERIFIED & CHECKED.
CONTRACTOR TO REPORT
CHANGES AND OMISSIONS TO
ARCHITECT.

572-596 NORTH
APARTMENTS

572-596 NORTH AVE
WAKEFIELD, MA

572-596 NORTH AVE APARTMENTS

UNIT COUNT

1BR:	21 UNITS
2BR:	13 UNITS
3BR:	4 UNITS
TOTAL:	38 UNITS

SF CALCULATION

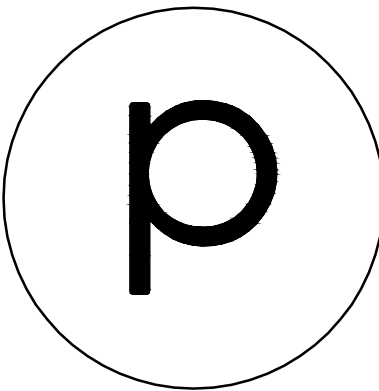
FIRST FLOOR:	11,250sf
SECOND FLOOR:	11,250sf
THIRD FLOOR:	11,250sf
FOURTH FLOOR:	11,250sf
TOTAL:	45,000sf

COVER
PAGE

4		
3		
2		
1		
No.	Revision/Issue	Date

1/8"=1'-0"

12.15.21



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572-596 NORTH APARTMENTS

572-596 NORTH AVE
WAKEFIELD, MA

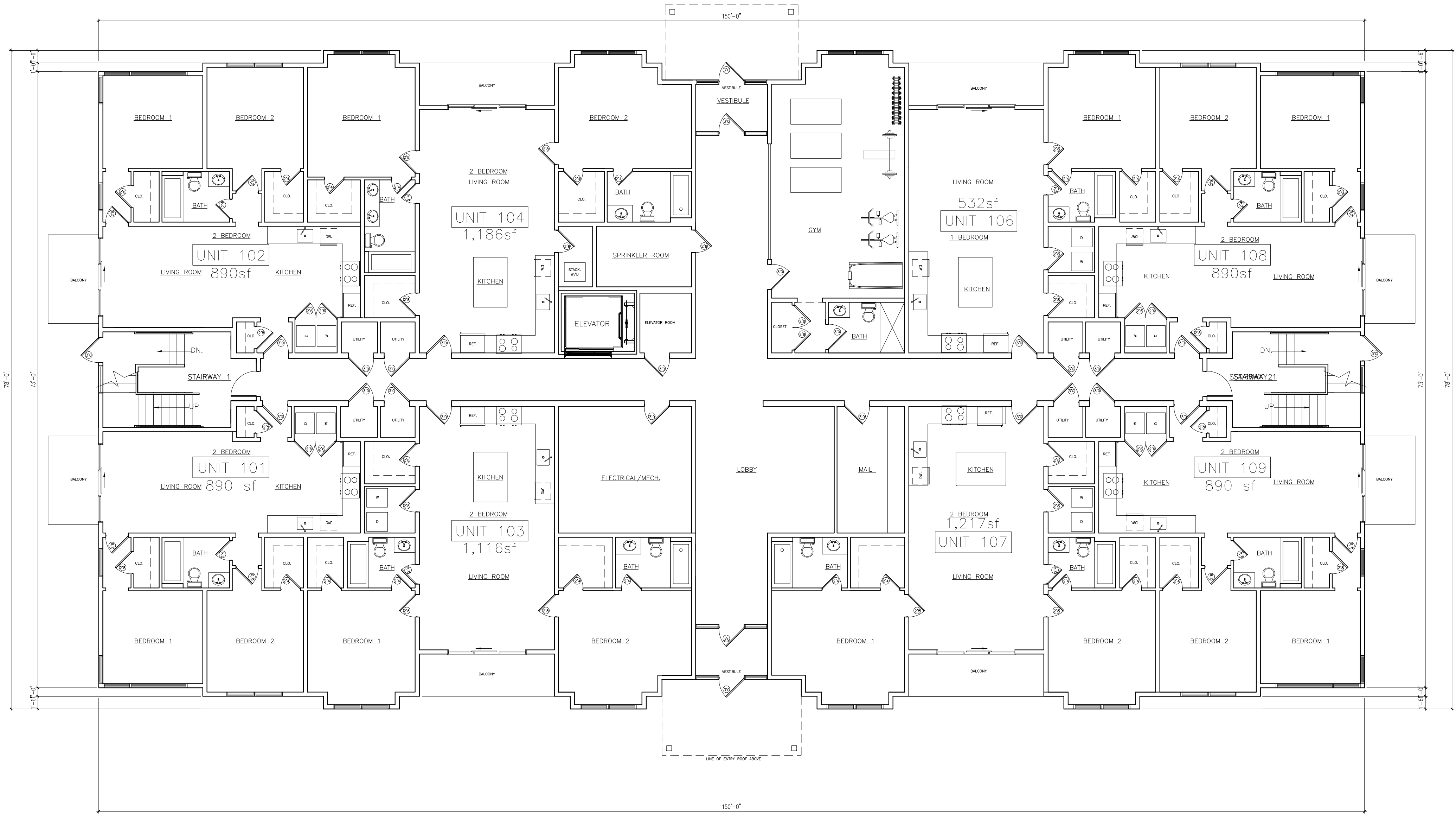
PROPOSED FLOOR PLANS

4		
3		
2		
1		
No.	Revision/Issue	Date

1/8"=1'-0"

12.15.21

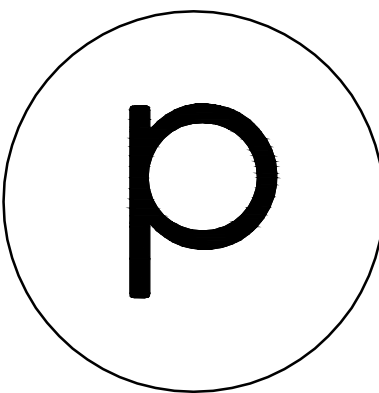
2



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

- (1) 1BR UNITS
- (7) 2BR UNITS
- (8) TOTAL UNITS



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572-596 NORTH
APARTMENTS

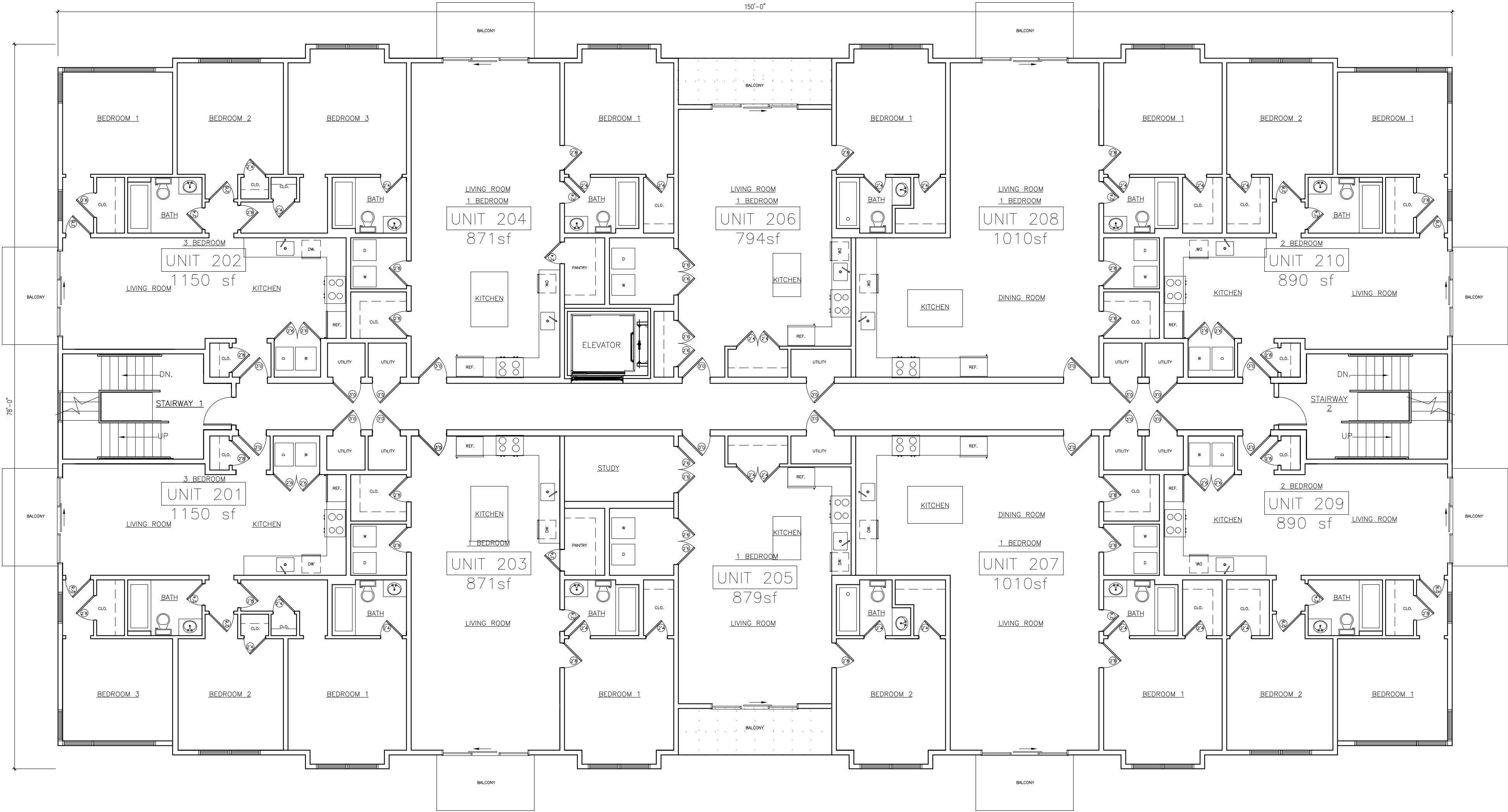
572-596 NORTH AVE
WAKEFIELD, MA

PROPOSED
FLOOR PLANS

4		
3		
2		
1		
No.	Revision/Issue	Date

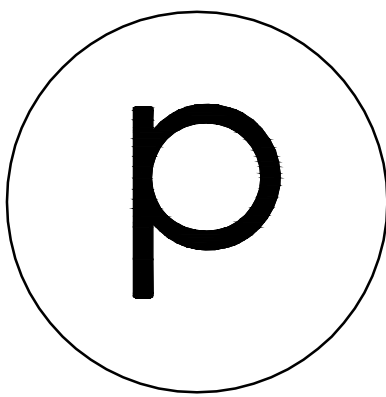
1/8"=1'-0"
12.15.21

3



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

- (2) 3BR UNITS
- (2) 2BR UNITS
- (6) 1BR UNITS
- (10) TOTAL UNITS



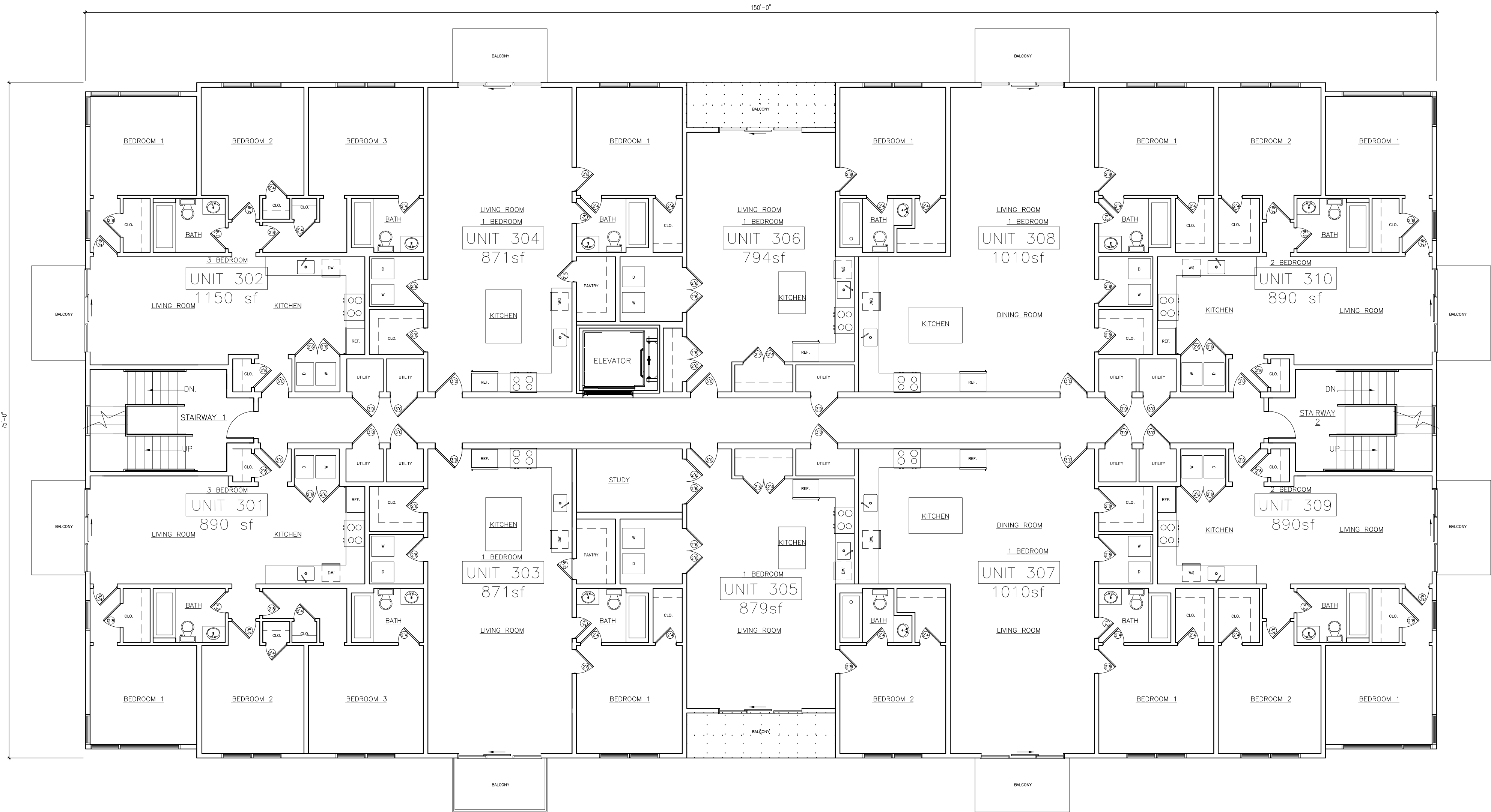
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572-596 NORTH APARTMENTS

572-596 NORTH AVE
WAKEFIELD, MA



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

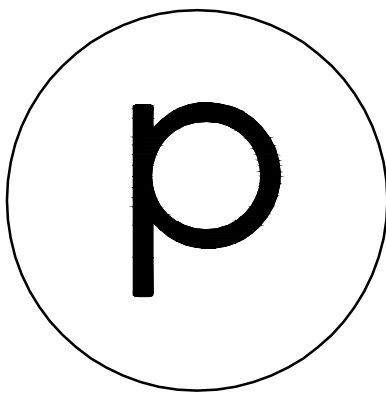
- (2) 3BR UNITS
- (2) 2BR UNITS
- (6) 1BR UNITS
- (10) TOTAL UNITS

PROPOSED FLOOR PLANS

4		
3		
2		
1		
No.	Revision/Issue	Date

1/8"=1'-0"

12.15.21



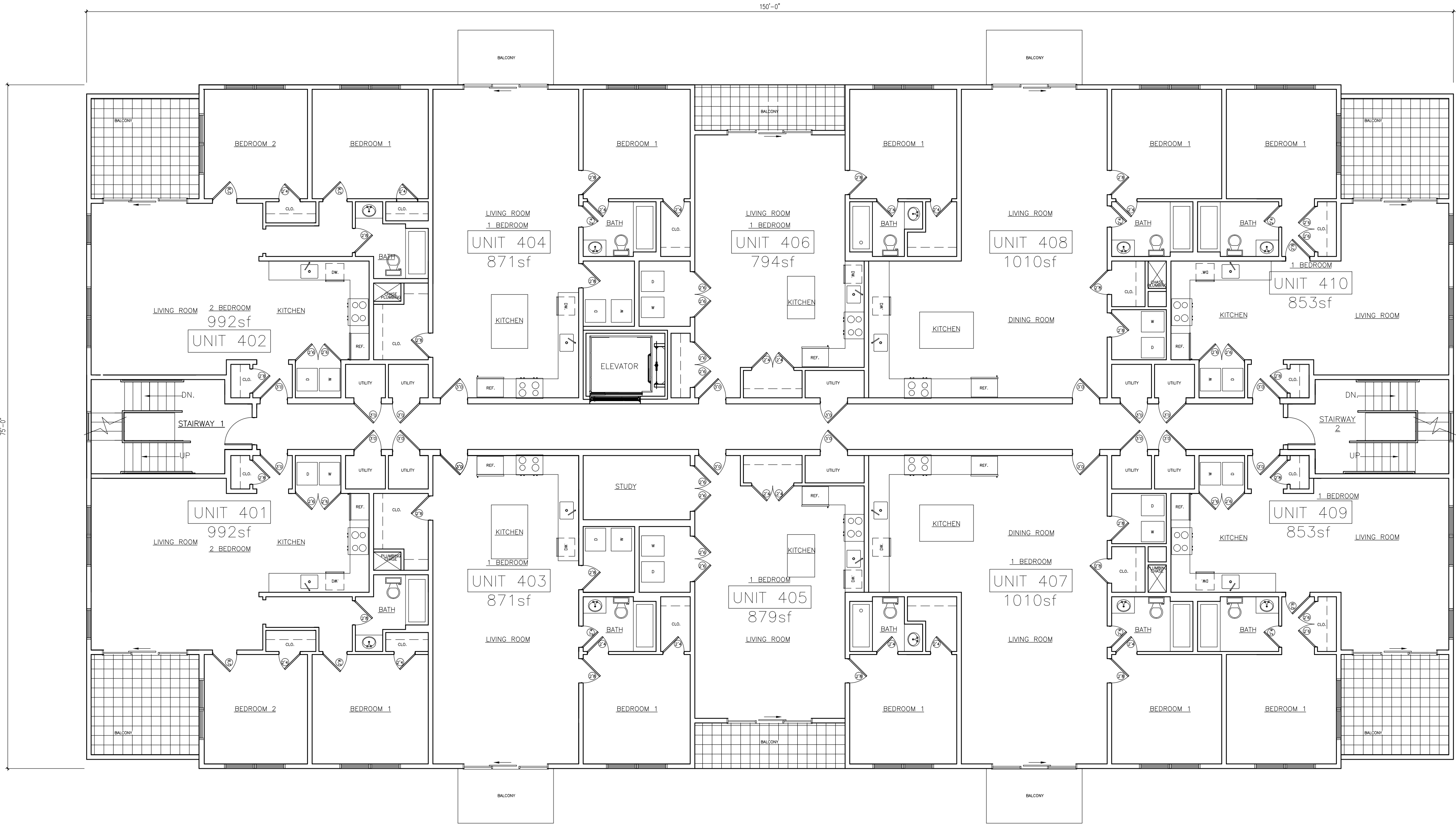
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572-596 NORTH APARTMENTS

572-596 NORTH AVE
WAKEFIELD, MA



FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

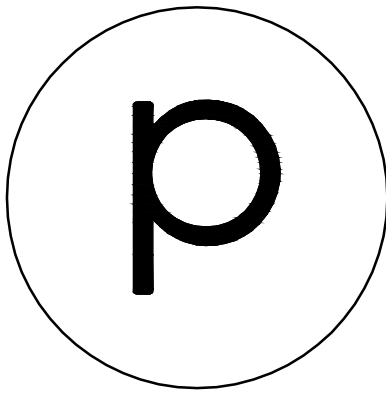
- (2) 2BR UNITS
- (8) 1BR UNITS
- (10) 2BR UNITS

PROPOSED FLOOR PLANS

4		
3		
2		
1		
No.	Revision/Issue	Date

1/8"=1'-0"

12.15.21



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ARCHITECTS

PETER L. SANDORSE, AIA
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572-596 NORTH APARTMENTS

572-596 NORTH AVE
WAKEFIELD, MA

PROPOSED ELEVATIONS

4		
3		
2		
1		
No.	Revision/Issue	Date

1/8"=1'-0"

12.15.21

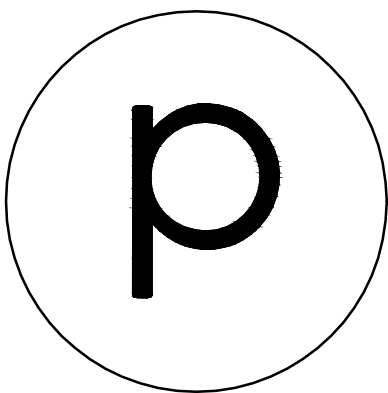
6



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



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572-596 NORTH APARTMENTS

572-596 NORTH AVE
WAKEFIELD, MA

PROPOSED ELEVATIONS

4		
3		
2		
1		
No.	Revision/Issue	Date

1/8"=1'-0"

12.15.21

7



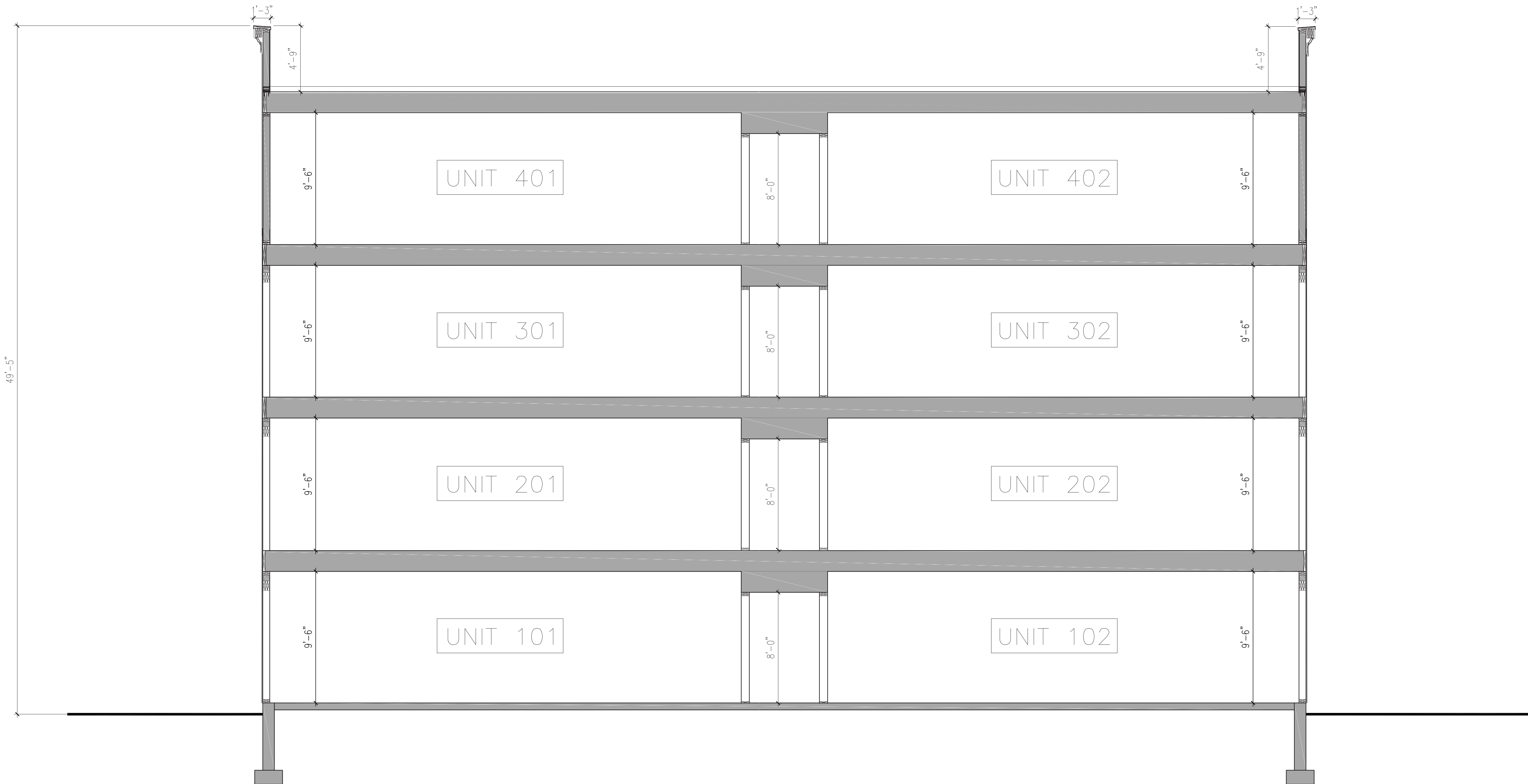
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

572-596 NORTH AVE, WAKEFIELD, MA

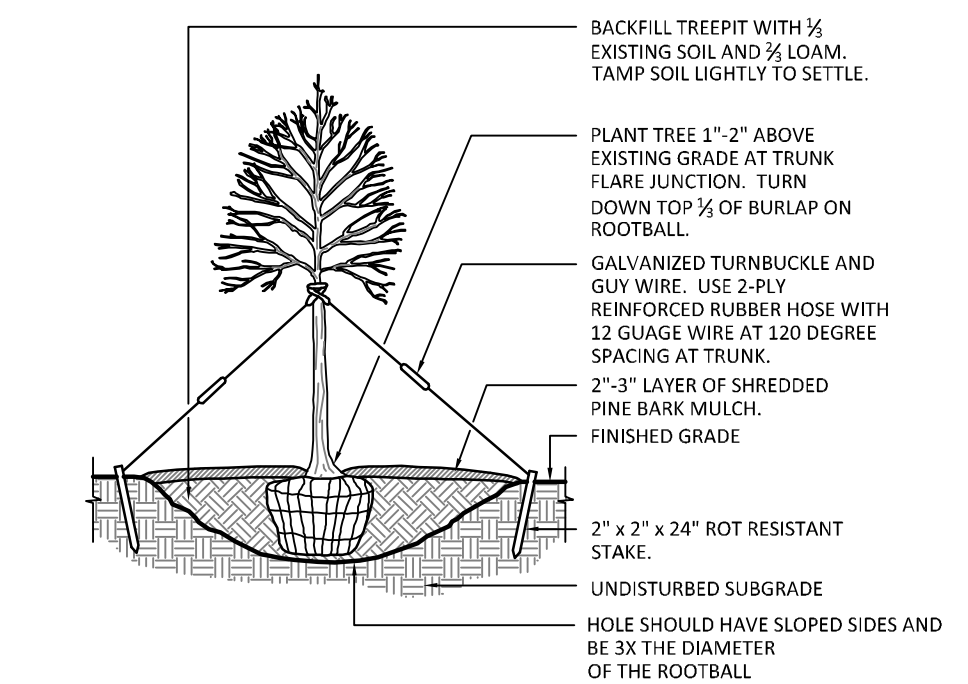
11.09.21



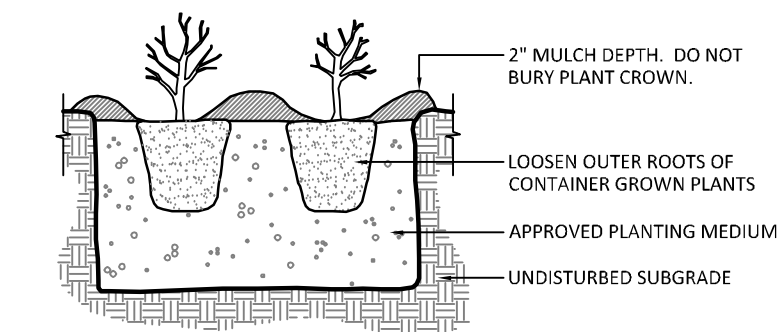
PROPOSED STUDY CROSS SECTION

Scale: 1/4" = 1'-0"

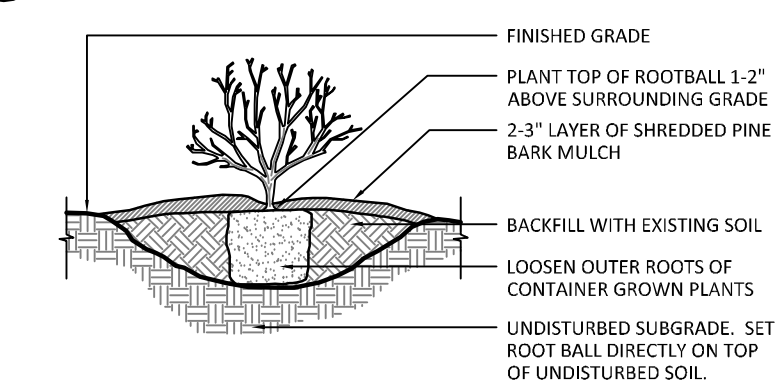




1 TREE PLANTING DETAIL
NOT TO SCALE



2 PERENNIAL/GROUNDCOVER PLANTING DETAIL



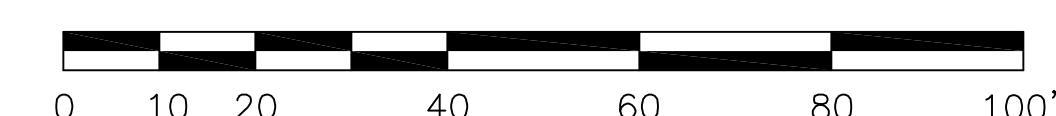
3 SHRUB PLANTING DETAIL
NOT TO SCALE

General Planting Notes

- ### General Planting Notes
1. All plants shall be the highest quality grown under the most intensive and sized according to Massachusetts Nurseryman's Association Standards. No substitutions will be permitted without the prior approval of the Landscape Architect.
 2. Topsoil for plant beds and pits shall be good quality sandy loam devoid of roots, clogs, stones or debris, glass, brick, asphalt, etc. Soil should be between 16 p.m.f. and 7.0. and have good fertility and organic content.
 3. Plant beds shall have a minimum soil depth of 10" unless otherwise specified and be mulched with 2-3" of finely shredded pine bark mulch. Groundcover areas should have a 1" - 2" mulch depth.
 4. All plant material shall be guaranteed for one full year from the completion of the installation.
 5. All seeded and soddied areas shall have 6" of screened loam, spread and finely graded according to the planting plan. Areas to be sodded shall be prepared by spreading and grading the seedbed, then placing sods in rows staggered and compacted. Sodded areas shall be prepared by spreading and grading the seedbed, then placing sods in rows staggered and compacted with the addition of 3" loam borrow filled together and finely graded over all areas to receive seed. Loam borrow shall consist of friable soil typical of locally cultivated soils containing a minimum of 2% decayed organic matter, no clogs, stones or debris, glass, brick, asphalt, etc. Soil should be between 16 p.m.f. and 7.0. and have good fertility and organic content. Seed shall be applied at the rate specified on the drawings and watered immediately after seed testing lab. Amend soil with lime and fertilizers according. Rate and timing is smooth, a mulch, and uniform in texture to the deviations indicated on the drawings. Seed evenly at a rate of 1 lbs. per 1000 square feet or according to the manufacturers instructions. Lay soil with hand-trowel in a smooth, uniform manner. Water the seedbeds thoroughly every week while the seed germinates and soil takes root until the grass is thoroughly established.

NOTE: THE TREELINE DEPICTED ON THIS PLAN HAS BEEN DERIVED FROM
GOOGLE EARTH AERIAL PHOTO IMAGERY.

SCALE: 1" = 20'-0"



FOR REVIEW ONLY - NOT FOR CONSTRUCTION

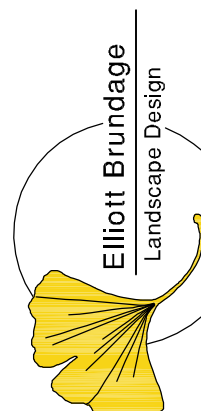
REVISIONS:
3-29-2021: LAYER REVISIONS PER W&S
5-3-2021: ADDED 6' SCREEN FENCE

DATE: MAY 3 2021
SCALE: 1" = 20'-0"

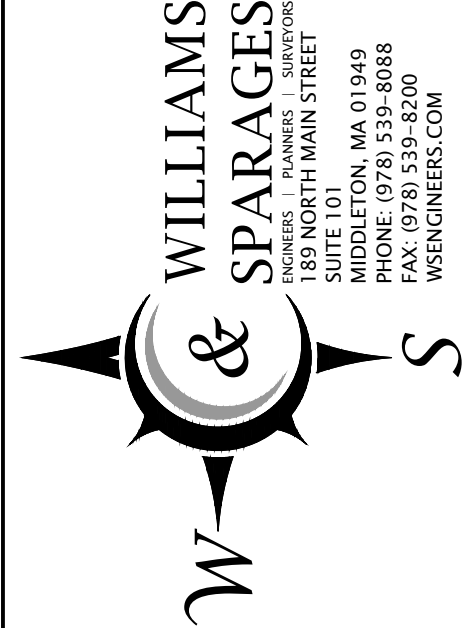
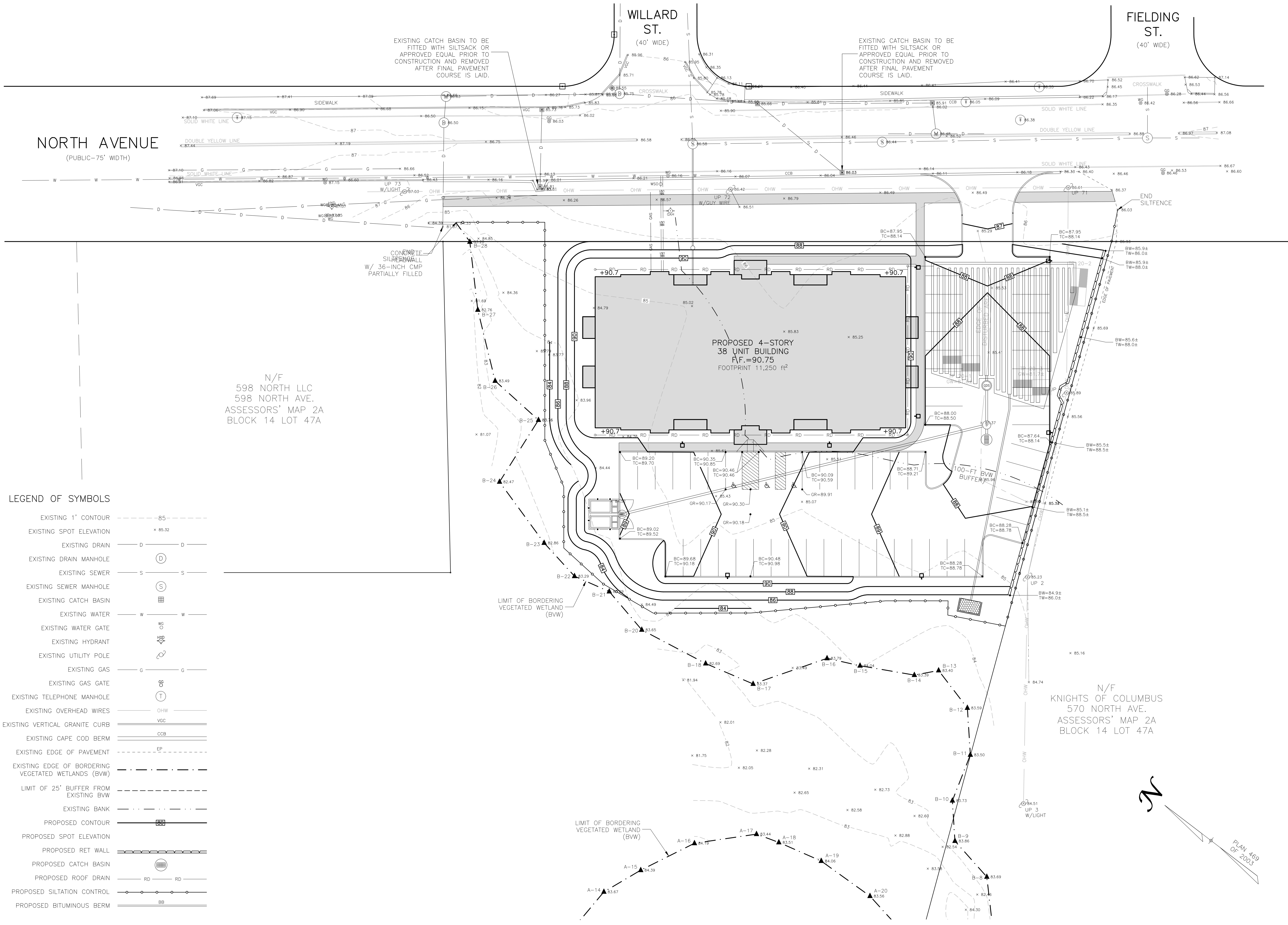
Preliminary Landscape Plan

572-596 North Avenue
Wakefield, Massachusetts

Property Owners: Raymond Nickerson and Dana Lopez
26 Venditto Rd. Revere, MA 02151



90 High Plain Road Andover, MA 01810
978 470 4970 www.elliottbrundage.com



Owner:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Applicant:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

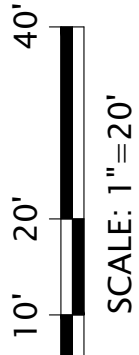
Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: WAKE-0070
Job File Number: WAKE-0070
Drawing File Folder: WAKE70

☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

SEAL

GRADING & DRAINAGE PLAN

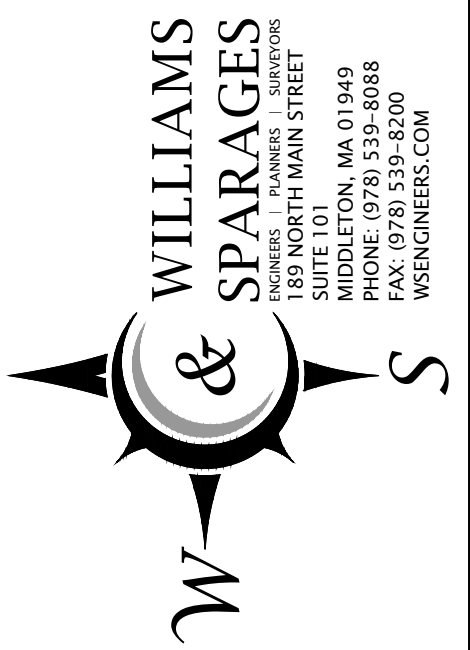
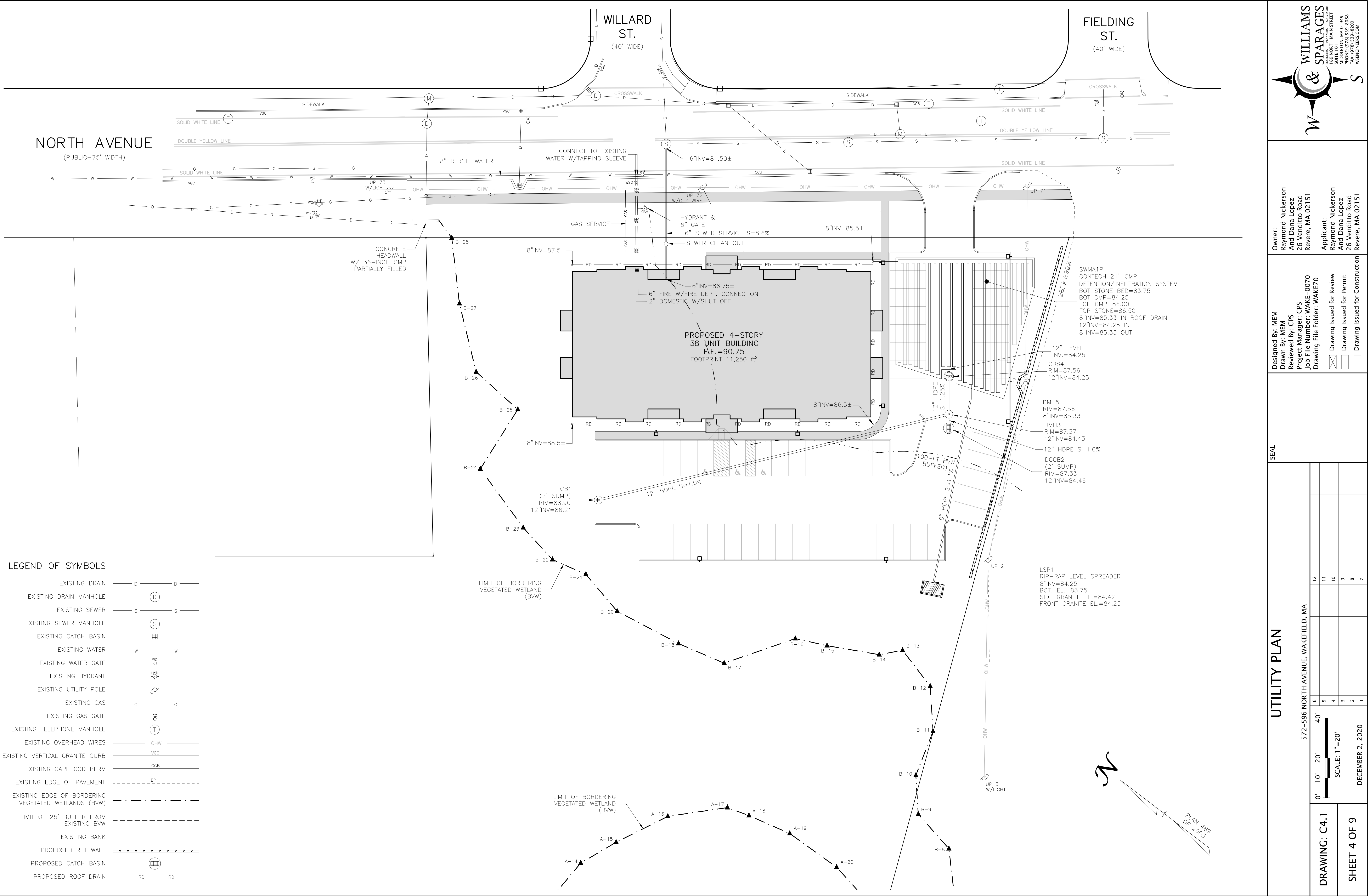
572-596 NORTH AVENUE, WAKEFIELD, MA



DECEMBER 2, 2020

DRAWING: C3.1

SHEET 3 OF 9



Owner:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Applicant:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0070
Drawing File Folder: WAKE70

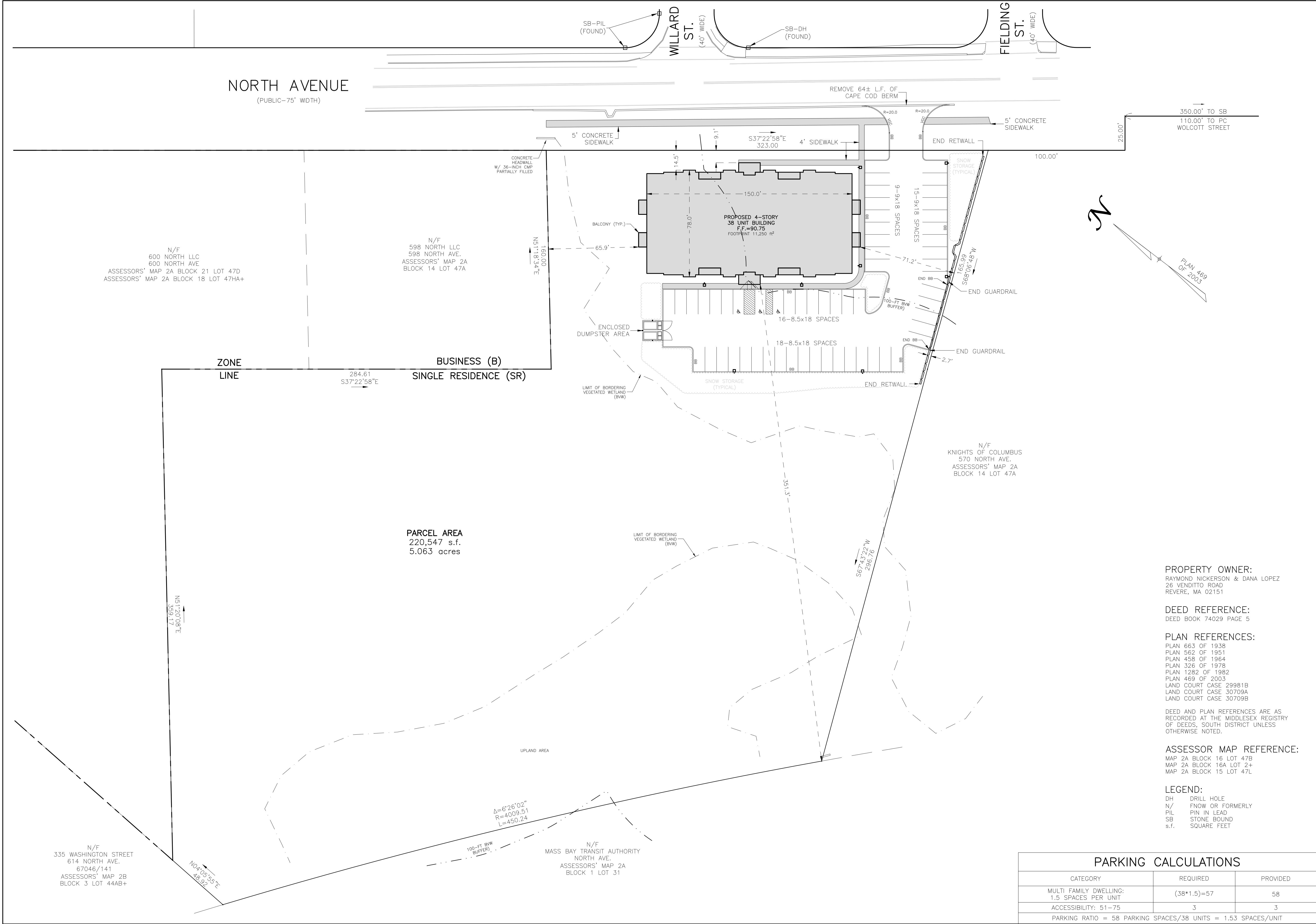
☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

SEAL

UTILITY PLAN

DRAWING: C4.1

SHEET 4 OF 9



WILLIAMS & SPARAGES
159 NORTH MAIN STREET
SUITE 101
REVERE, MA 02151
PHONE (978) 539-8088
FAX (978) 539-8200
WSENGINEERS.COM

Owner:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Applicant:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0070
Drawing File Folder: WAKE70

☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

SEAL

SURVEY & LAYOUT PLAN

572-596 NORTH AVENUE, WAKEFIELD, MA

12	11	10	9	8	7
6	5	4	3	2	1

0' 15' 30' 60'
SCALE: 1"=30'
DECEMBER 2, 2020

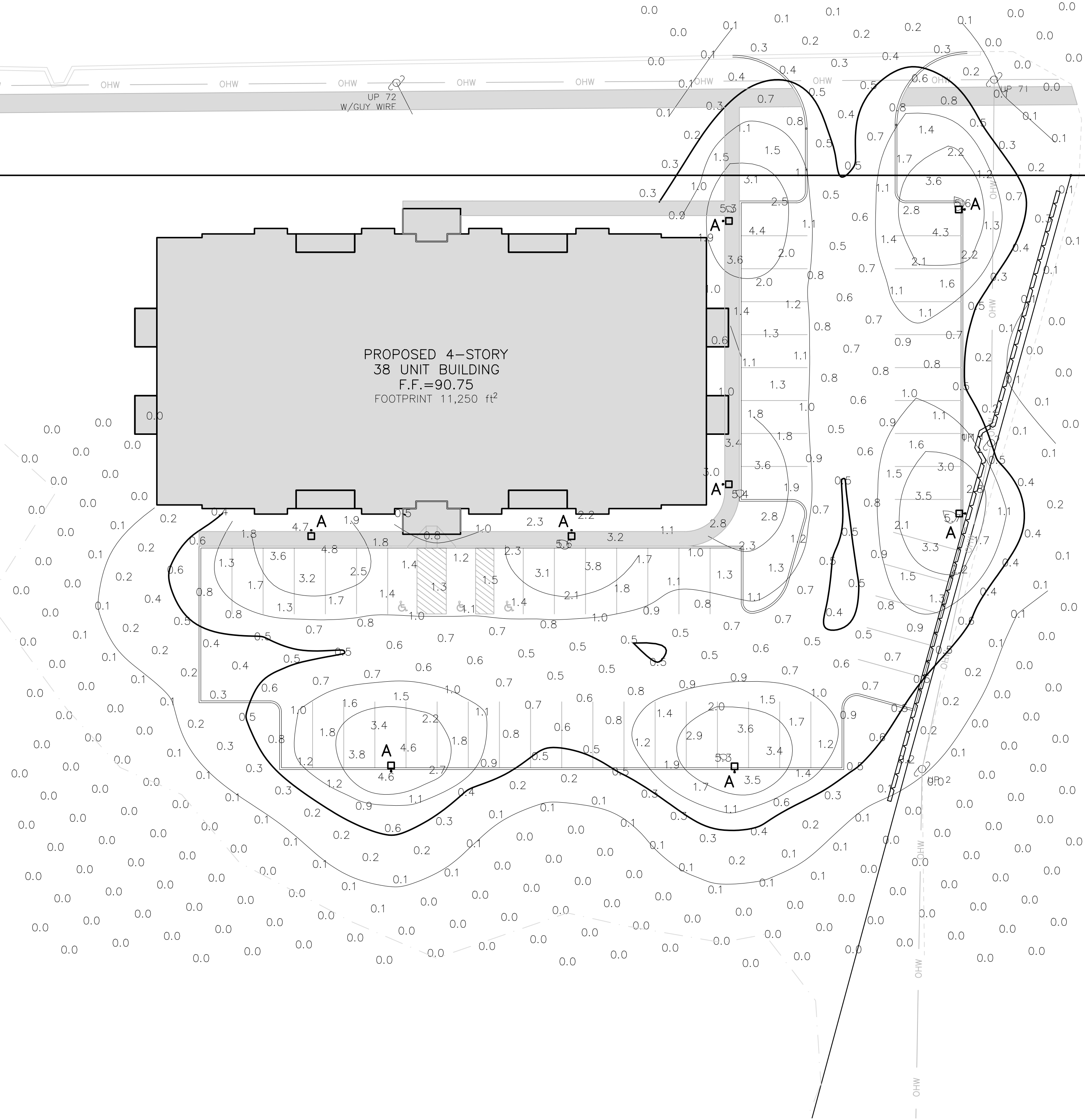
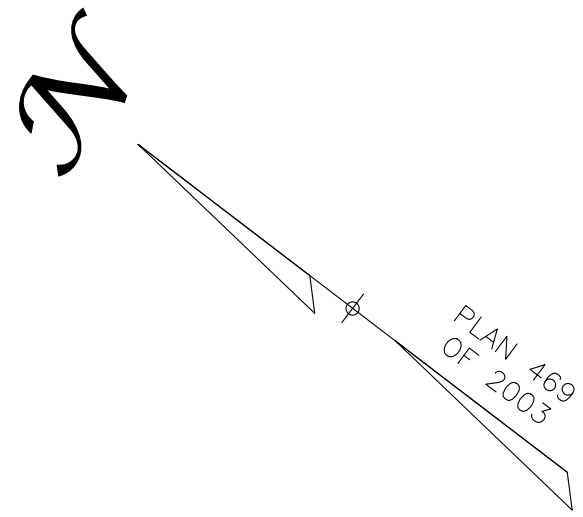
DRAWING: C5.1

SHEET 5 OF 9

NORTH AVENUE
(PUBLIC—75' WIDTH)

WILLARD ST.
(40' WIDE)

FIELDING ST.
(40' WIDE)



GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	0.75
MAXIMUM FOOT-CANDLES	5.7
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	9971.44
AVERAGE TO MINIMUM FC RATIO	1305.45

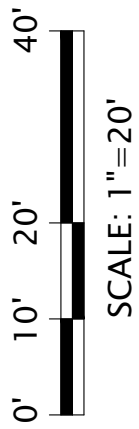
- NOTES:
1. SECURITY LIGHTING TO BE DETERMINED.
 2. ILLUMINANCE VALUES CREATED FROM MANUFACTURERS PHOTOMETRIC DATA.
 3. ILLUMINANCE VALUES SHOWN REPRESENT MAINTAINED HORIZONTAL FOOTCANDLES AT GROUND LEVEL.
 4. FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION, EXISTING LIGHT SOURCES, SLOPING GRADE OR EXISTING OR PROPOSED THREE DIMENSIONAL OBJECTS.

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QUANTITY	CATALOG NUMBER HADCO/BREX	DESCRIPTION	LAMP	TILT	LLF	CANDELA FILE
□	A	8	HADCO PIMA SERIES LED CXFxx48-G2-3W3-16 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE III OPTICS 15' MOUNTING HEIGHT	3000K 5090 LUMENS PER LAMP	0°	1.00	CXFxx48-G2-3W3-16.IES

PHOTOMETRIC PLAN

572-596 NORTH AVENUE, WAKEFIELD, MA



DECEMBER 2, 2020

DRAWING: C6.1

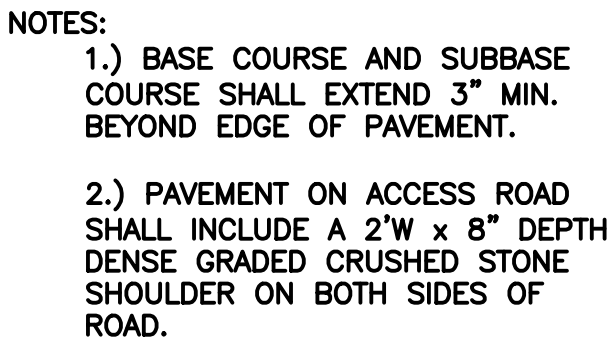
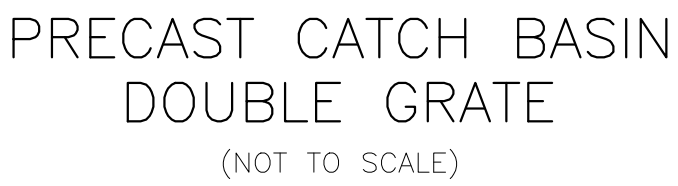
SHEET 6 OF 9

SEAL

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0070
Drawing File Folder: WAKE70
☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

Owner:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151
Applicant:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151






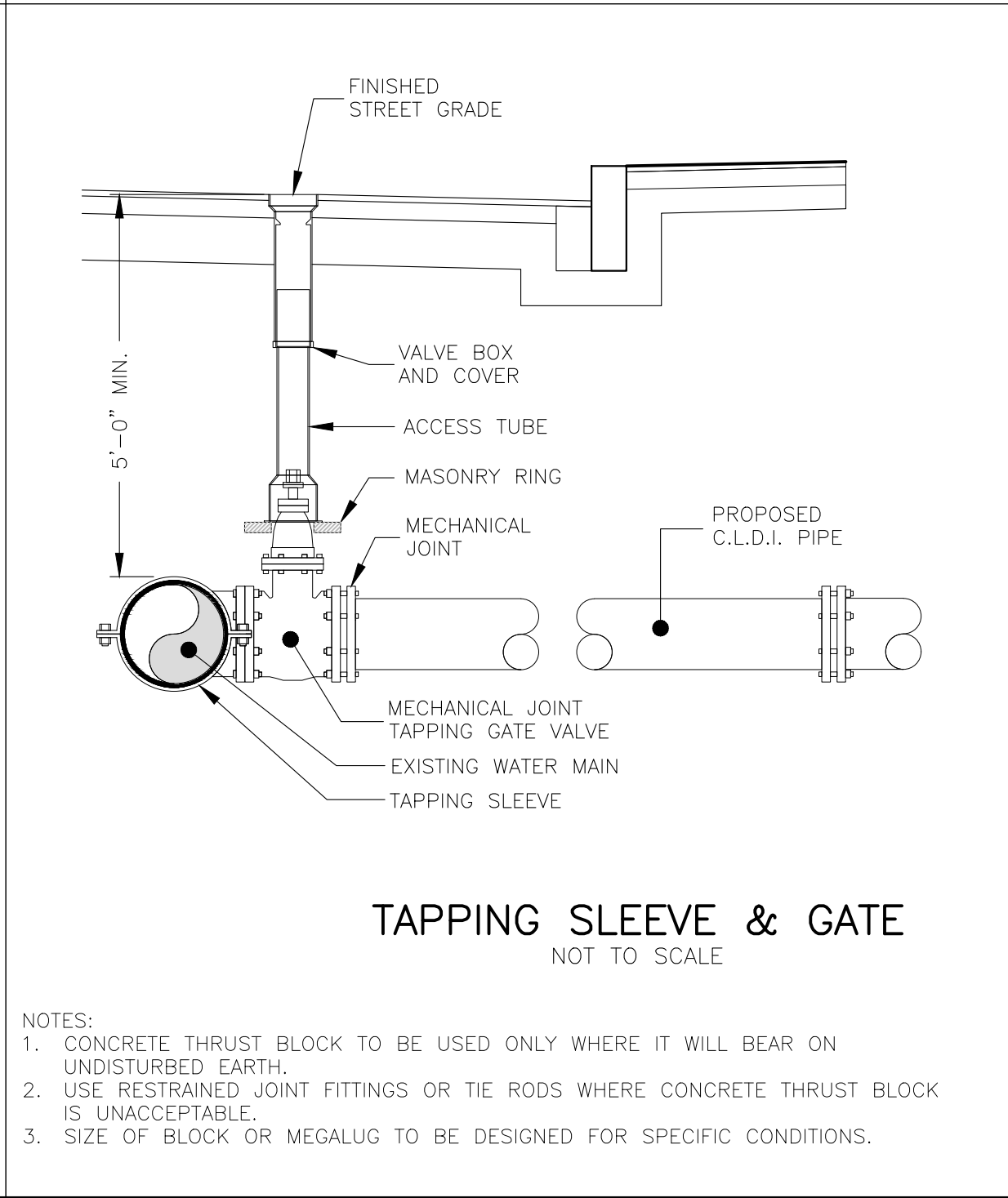
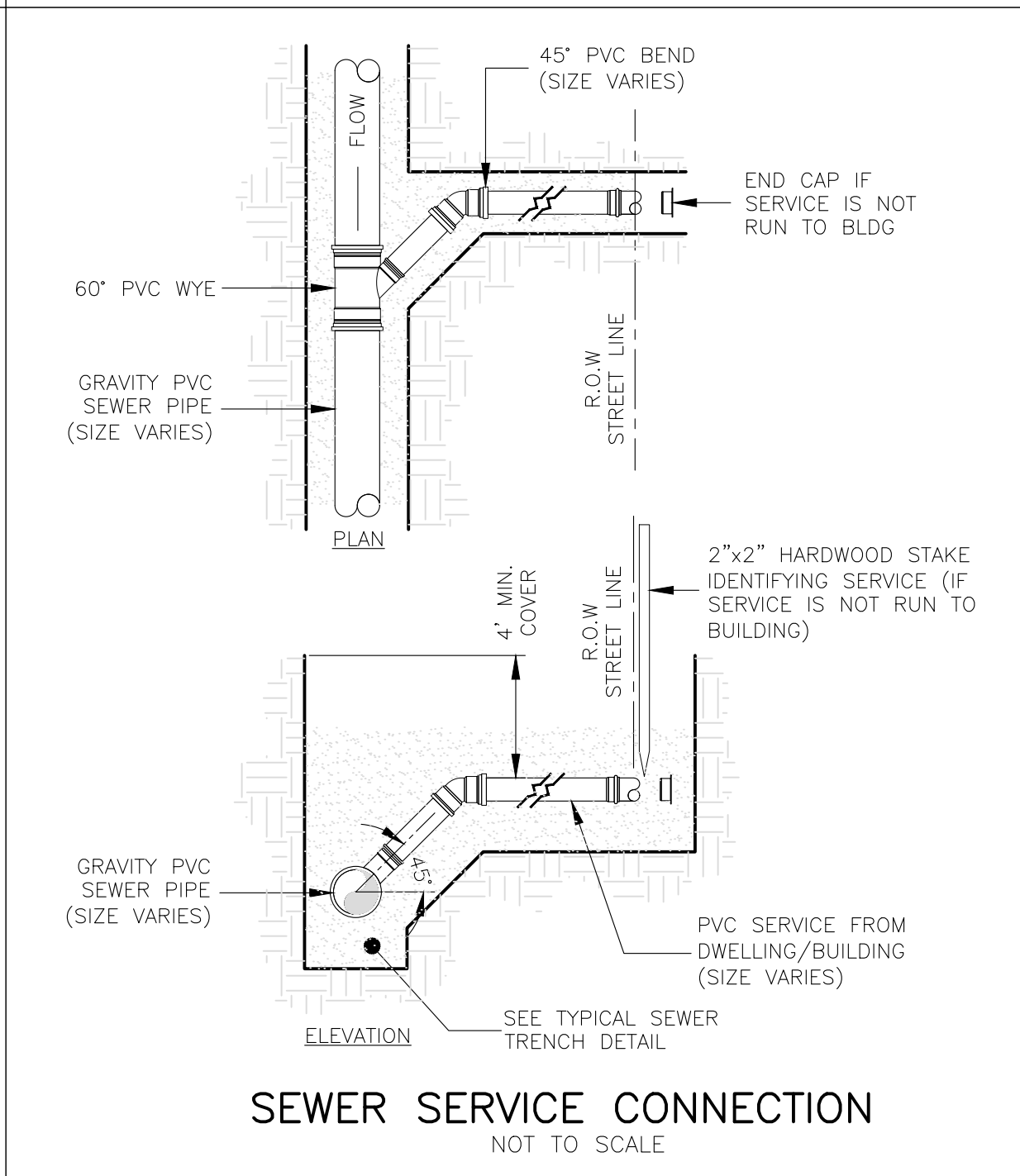
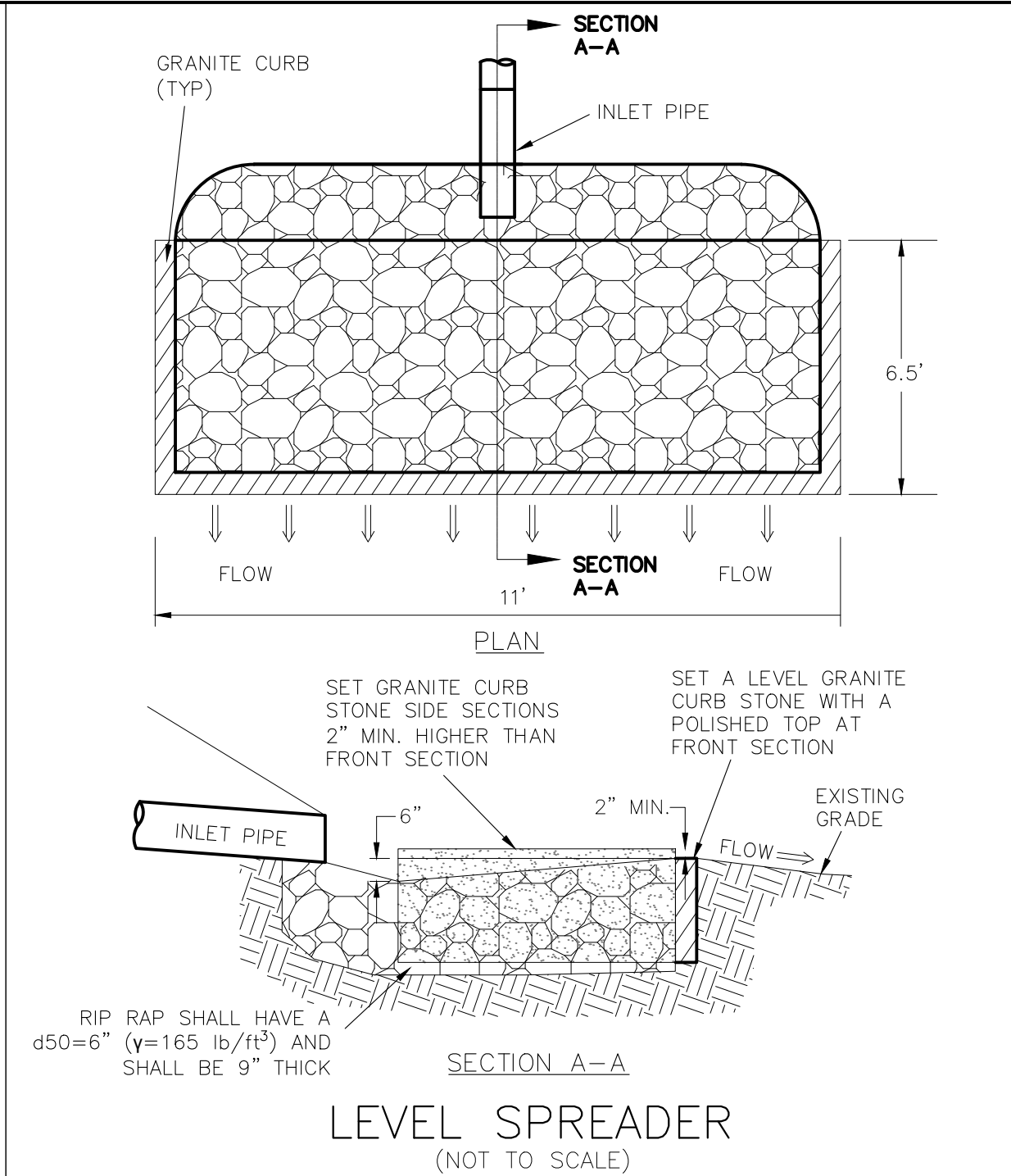
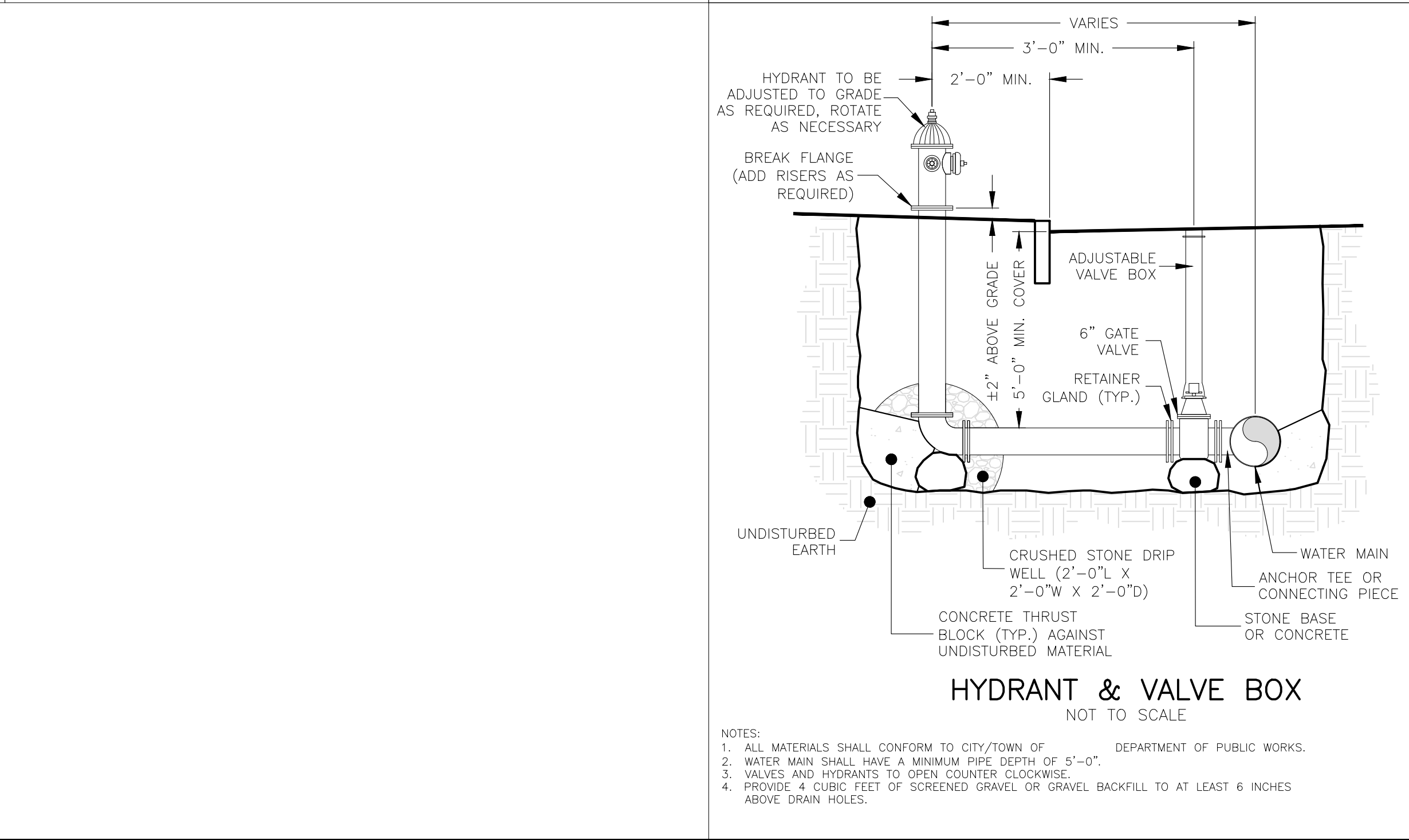
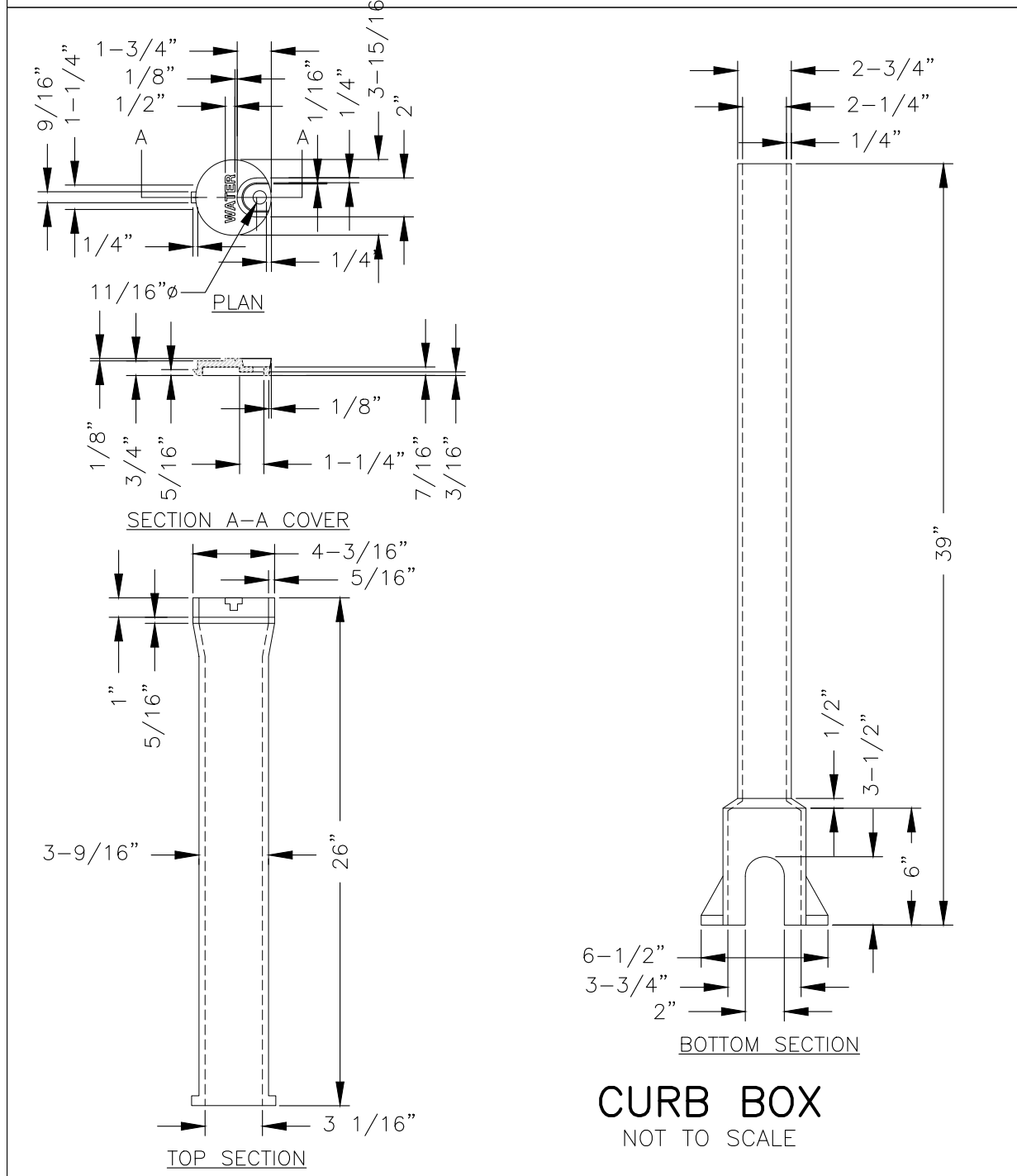
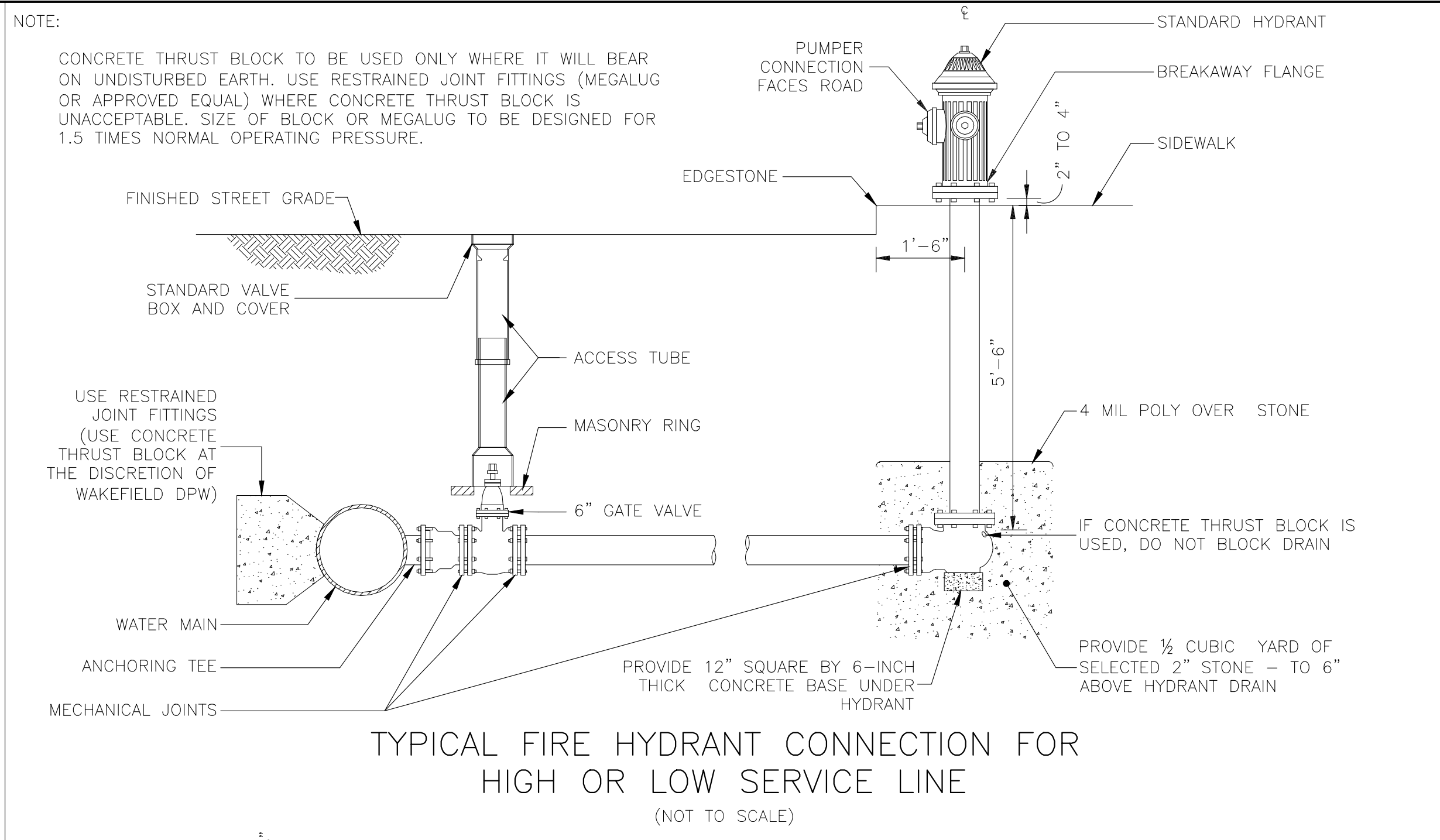
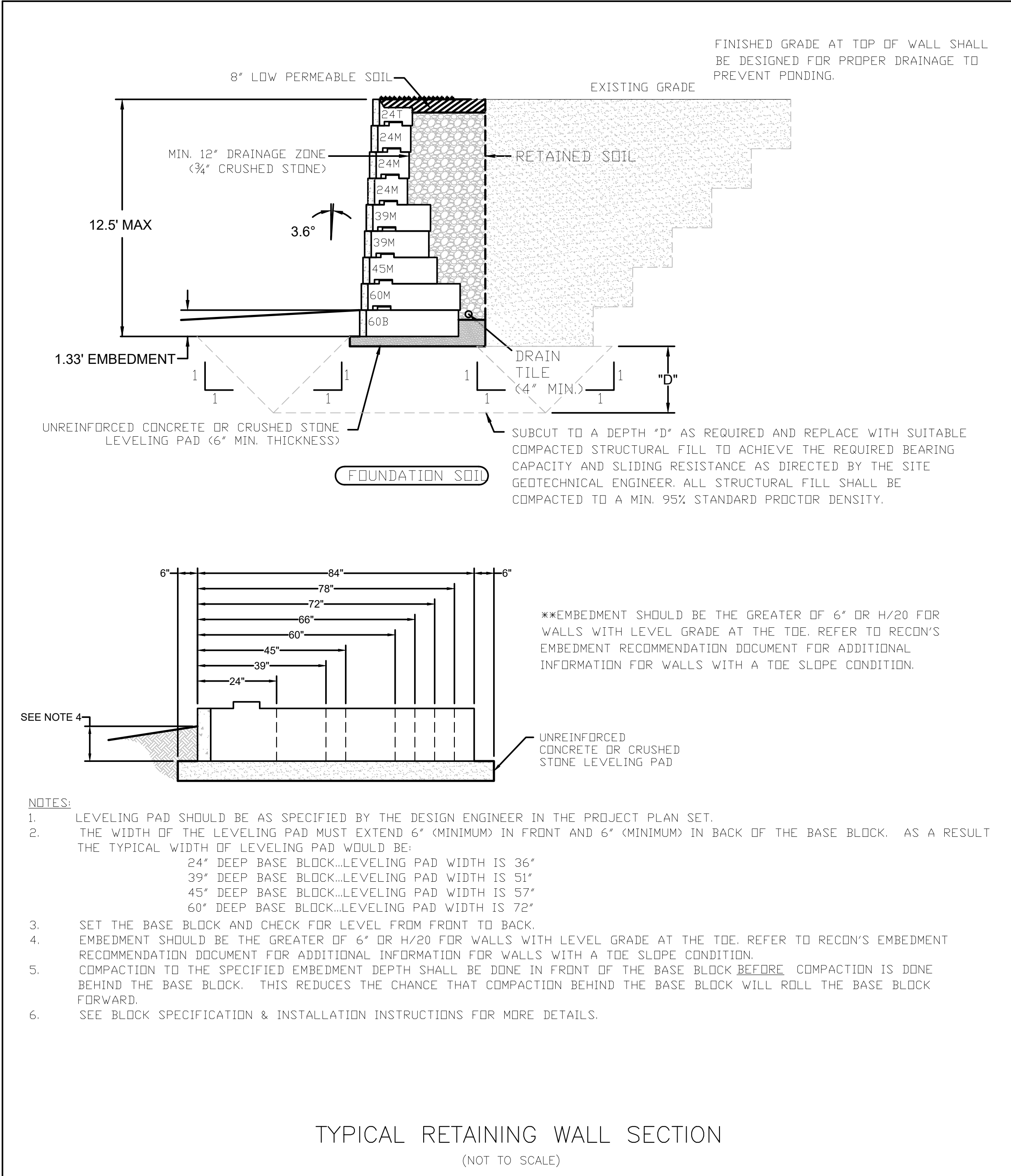
NOTES

1. SURFACE SHALL BE BROOM FINISH UNLESS OTHERWISE NOTED, FINISH SURFACE SHALL BE SLOPED FOR POSITIVE DRAINAGE AND SHALL SLOPE AWAY FROM STRUCTURES.
2. EXPANSION JOINTS SHALL NOT EXCEED 30' O.C. AND SHALL BE PLACED AT ALL BUILDING ABUTMENTS.
3. CONTROL JOINTS SHALL NOT EXCEED 5' O.C. UNLESS OTHERWISE NOTED

CONCRETE WALKWAY
(NOT TO SCALE)



CONSTRUCTION DETAILS PLAN										SEAL	Designed By: MEM Drawn By: MEM Reviewed By: CPS Project Manager: CPS Job File Number: WAKE-0070 Drawing File Folder: WAKE70	Owner: Raymond Nickerson And Dana Lopez 26 Venditto Road Revere, MA 02151 Applicant: Raymond Nickerson And Dana Lopez 26 Venditto Road Revere, MA 02151	 <div>WILLIAMS & SPARAGES</div> <div>REGISTERED PROFESSIONAL ENGINEERS 100 NORTH MAIN STREET SUITE 101 MIDDLETON, MA 01949 TEL: (508) 535-0688 FAX: (508) 535-4500 WWW.WSENGINEERS.COM</div>
DRAWING: C7.1		SCALE: NONE								<div>612</div> <div>511</div> <div>410</div> <div>39</div> <div>28</div> <div>17</div>	<div><input checked="" type="checkbox"/> Drawing Issued for Review</div> <div><input type="checkbox"/> Drawing Issued for Permit</div> <div><input type="checkbox"/> Drawing Issued for Construction</div>		
SHEET 7 OF 9		DECEMBER 2, 2020											



WILLIAMS & SPARAGES
189 NORTH MAIN STREET
SUITE 101, WAKEFIELD, MA 01840
PHONE: (978) 539-5088
FAX: (978) 539-8200
WSENGINEERS.COM

Owner:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Applicant:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Designed By: MEM
Drawn By: MEM
Project Manager: CPS
Job File Number: WAKE-0070
Drawing File Folder: WAKE70

Drawing Issued for Review
Drawing Issued for Permit
Drawing Issued for Construction

SEAL

12	11	10	9	8	7
6	5	4	3	2	1

CONSTRUCTION DETAILS PLAN

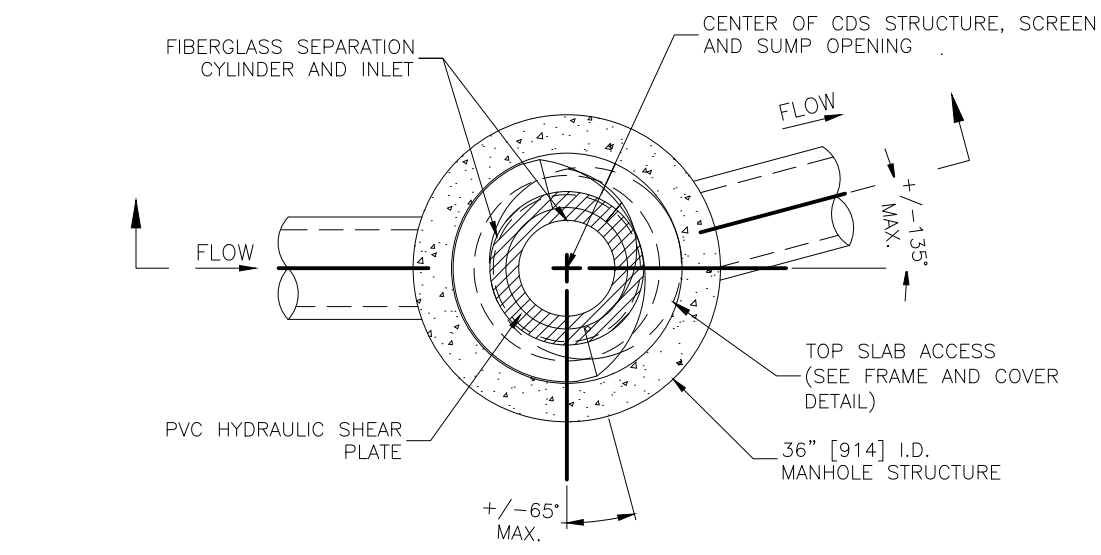
572-596 NORTH AVENUE, WAKEFIELD, MA

SCALE: NONE

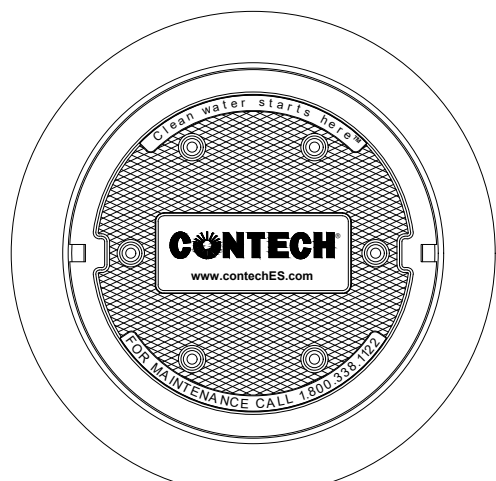
DRAWING: C7.2

SHEET 8 OF 9

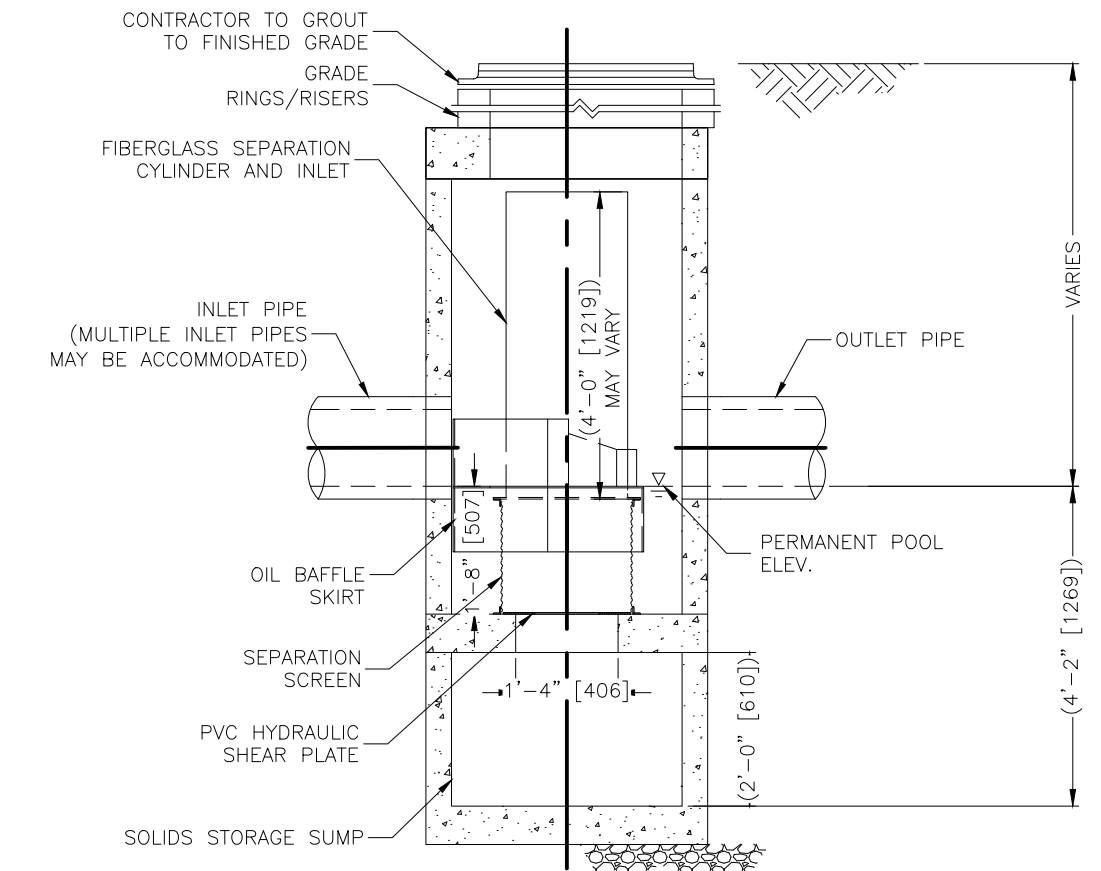
DECEMBER 2, 2020



PLAN VIEW B-B
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

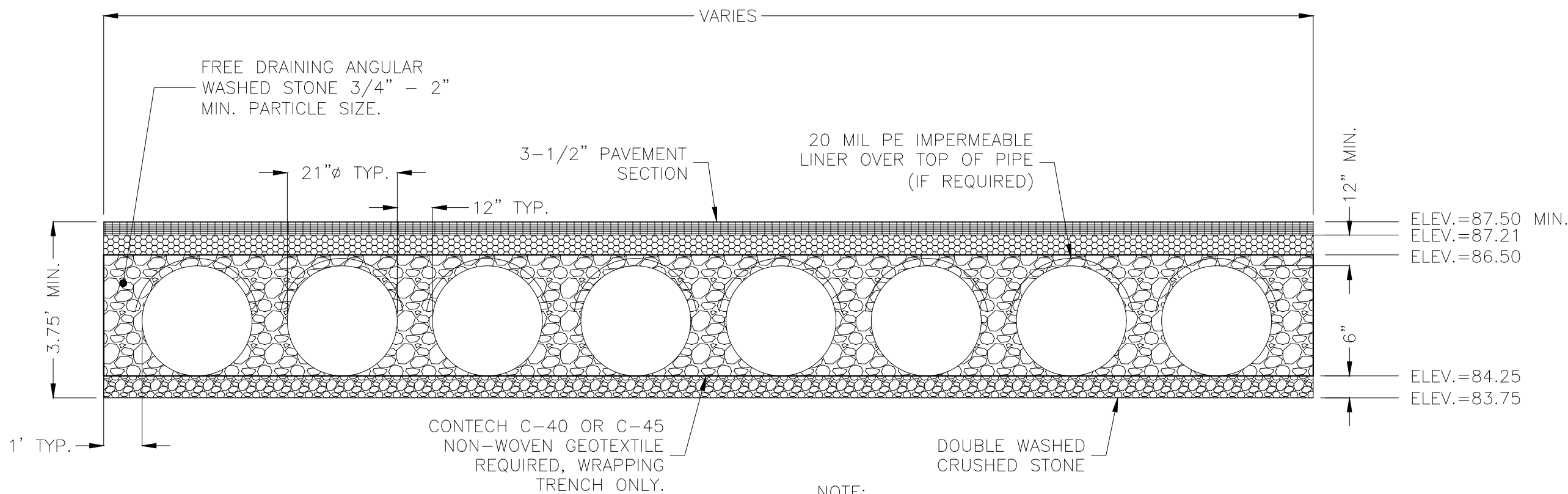


ELEVATION A-A
N.T.S.

CONTECH CDS 1515-3-C
NOT TO SCALE

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 - IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
 - CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

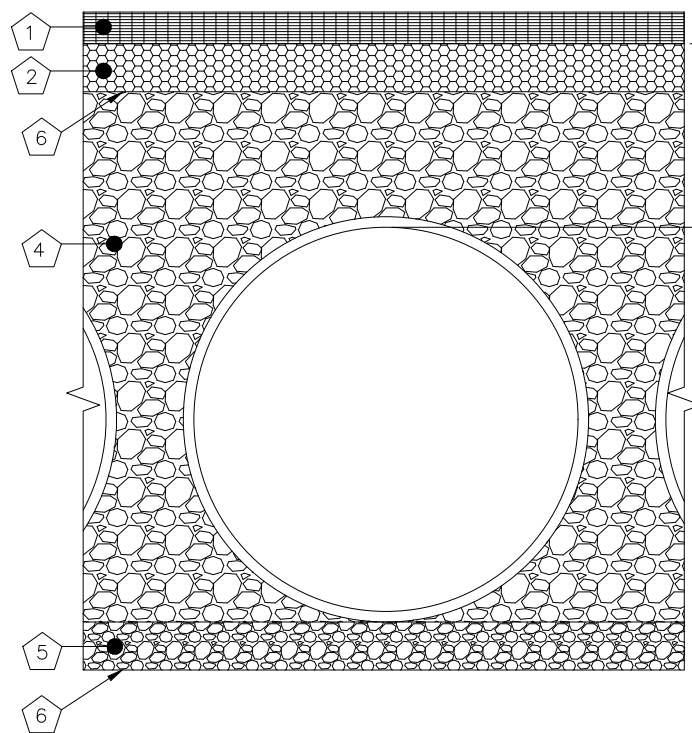
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



NOTE:

- IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

TYPICAL CONTECH CMP
DETENTION SYSTEM SECTION
NOT TO SCALE



FOUNDATION/BEDDING PREPARATION

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE 4 INCHES OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

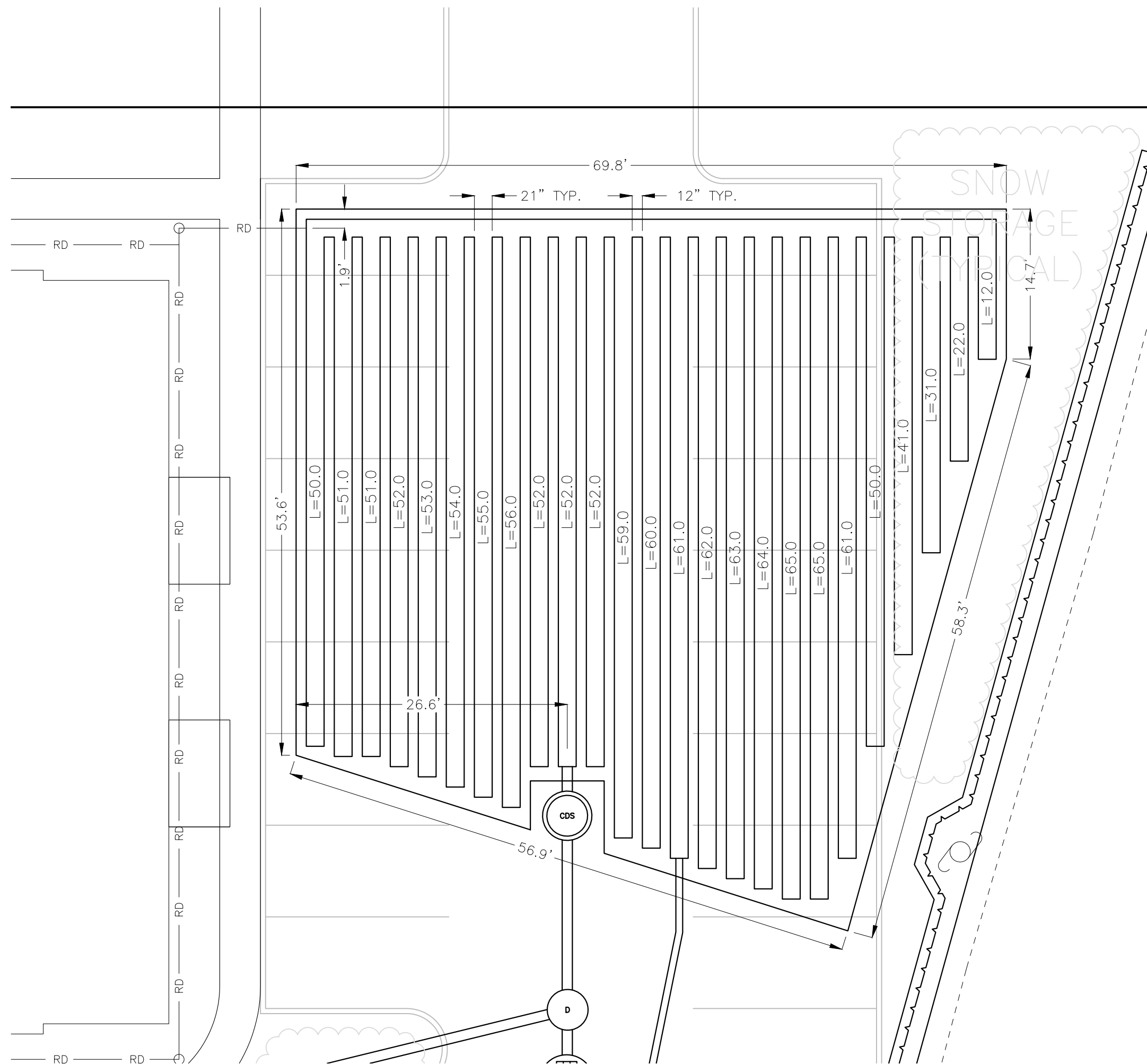
BACKFILL

THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGULAR WASHED STONE 3/4" - 2" PARTICLE SIZE. MATERIAL SHALL BE PLACED IN 8"-10" MAXIMUM LIFTS. MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICING, RODDING, AIR-TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS. COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE PROJECT ENGINEER OR HIS REPRESENTATIVE IS SATISFIED WITH THE LEVEL OF COMPACTION. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS OVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY PIPE IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.

EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE PIPE. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAINING BALANCED LOADING ON ALL PIPES IN THE SYSTEM, DURING ALL SUCH OPERATIONS.

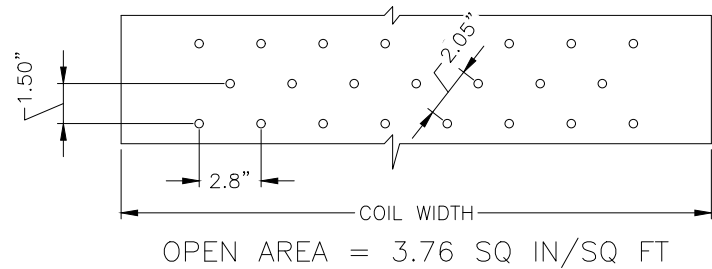
OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. REFER TO TYPICAL BACKFILL DETAIL FOR MATERIAL REQUIRED.

BACKFILL
NOT TO SCALE

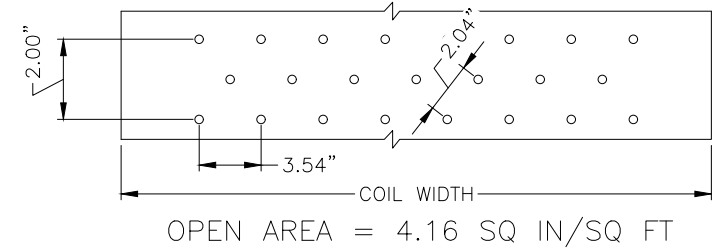


PLAN VIEW
SCALE: 1"=10'

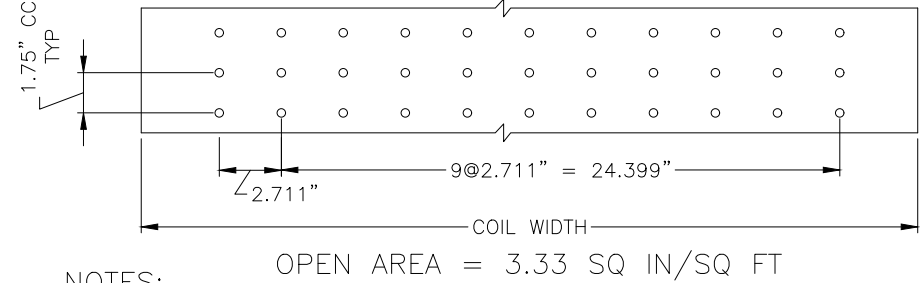
2 2 3/8" x 1 1/2" CORRUGATION - STEEL AND ALUMINUM CMP
EDGE SPACING EQUAL ON BOTH SIDES



3" x 1" CORRUGATION - STEEL AND ALUMINUM CMP
(COIL PROVIDED FROM CONTECH LANTANA, FL PLANT)



5" x 1" CORRUGATION - STEEL ONLY
EDGE SPACING EQUAL ON BOTH SIDES



NOTES:

- PERFORATIONS MEET AASHTO AND ASTM SPECIFICATIONS.
- PERFORATION OPEN AREA PER SQUARE FOOT OF PIPE IS BASED ON THE NOMINAL DIAMETER AND LENGTH OF PIPE.
- ALL DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- ALL HOLES ø3/8".

PERFORATION
NOT TO SCALE

CONSTRUCTION DETAILS PLAN

572-596 NORTH AVE, WAKEFIELD, MA

SCALE AS SHOWN

DRAWING: C7.3

SHEET 9 OF 9

DECEMBER 2, 2020

SEAL

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: WAKE-0070
Drawing File Folder: WAKE70

☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

Owner:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151

Applicant:
Raymond Nickerson
And Dana Lopez
26 Venditto Road
Revere, MA 02151



Site Location Map



Project Trip Generation Summary

Time Period/ Directional Distribution	Multifamily <u>Residential^a</u> Vehicle Trips
<i>Weekday Morning Peak Hour:</i> Entering <u>Exiting</u> Total	 3 <u>11</u> 14
<i>Weekday Evening Peak Hour:</i> Entering <u>Exiting</u> Total	 9 <u>6</u> 15

^aBased on ITE LUC 221, Multifamily Housing (Mid-Rise) Not Close to Rail Transit; 38 units.



Project Traffic Summary

- Traffic Study prepared for Project in December 2021
- Included several background projects in future conditions analysis
- Project-related traffic increases are expected to be between 0.3 percent and 0.6 percent during the peak hours
- No changes to critical movement LOS over No-Build condition
- Adequate sight distance available (600+ feet) at the proposed driveway
- Sidewalk proposed on North Avenue frontage
- MBTA Bus Route 137 stops close to Project site
- Applicant will coordinate with area shuttle services as available

